

**SECTION 00 91 11**  
**ADDENDUM NUMBER 1**

**DATE: July 18, 2017**

**TO: PROSPECTIVE BIDDERS**

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated **June 30, 2017**, with amendments and additions noted below. Where addendum items below modify a portion of the Bid Documents, the remainder of the Bid Document remains unchanged.

ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED IN THE BID FORM. FAILURE TO DO SO MAY DISQUALIFY THE BIDDER.

This addendum consists of 14 page(s), in addition to the following document(s):.

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- 00 01 10 – Table of Contents – Project Manual
- Section 00 2113 – Instructions to Bidders
- Section 00 4321 – Allowances
- Section 00 4322- Unit Prices
- Section 00 4323 – Alternates
- (Section 00 4331A) Rochester Schools Modernization program Certification of Eligible Business Enterprise (EBE) Financial Status form.
- (Section 00 4331a) Memorandum of Understanding Concerning BOP Mentor/Protégé Program memo
- Section 00 4383 – Milestone Schedule and Critical Submittals.
- Section 00 7216 – General Conditions
- Section 01 2975A - Application for RSMP Loan Fund
- Section 01 2975B - Revolving Loan Fund Procedure for the Rochester Schools Modernization Program
- Section 01 2976A – AIA Document G706 CMA (Form)
- Section 01 5000 – Temporary Construction.
- Section 01 5110 – Temporary Power and Electricity.
- Section 01 5130 – Temporary Heating Cooling and Ventilation.
- Section 01 5150 – Temporary Water.
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- Section 01 5210 - Temporary Material Hoisting.
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**CHANGES TO THE PROJECT MANUAL**

00 0110 TABLE OF CONTENTS

- A. Add the Table of Contents to Project Manual volumes 1 and 3.
- B. Change the Section 01 12 00 Summary of Work to read 01 10 00 Summary of Work.

00 1113 ADVERTISEMENT FOR BID

- A. Change location address for receipt of bids, in first paragraph, from “1776 North Clinton Ave., Rochester, NY 14621” to read as follows:  
**“Suite 200, 70 Carlson Road, Rochester, NY 14610.”**  
NO BIDS WILL BE RECEIVED AT THE 1776 N. CLINTON AVE. ADDRESS.

00 2113 INSTRUCTIONS TO BIDDERS

- B. Replace Section in its entirety with the attached Section.

00 4321 ALLOWANCES

- A. Replace Section in its entirety with the attached Section.

00 4322 UNIT PRICES

- A. Replace Section in its entirety with the attached Section.

00 4323 ALTERNATES

- A. Replace Section in its entirety with the attached Section.

00 4331 MWBE AND DIVERSITY

- A. Replace the last paragraph of VI, .4 beginning “The BOP will sponsor and facilitate...” in its entirety with the following two paragraphs:

“The BOP will sponsor and facilitate The Instructional Series, a curriculum-based program of training sessions designed to expand business opportunities and assist M/W/D/SBE subcontractors beyond what was formerly available to them. A Mentor-Protégé Program (MPP) will enroll eligible certified M/W/D/SBE’s who are designated as subcontractors on Phase 2 projects to be paired with the prime contractor who has listed them on its EBE Utilization Plan (DP-1) or another participating mentor designated by BOP Staff. A Memorandum of Understanding (MOU) template outlining the basic terms of the MPP is included in this section’s attachments.

Additionally, a Revolving Loan Program (RLP) was developed through the BOP specifically for assisting EBE subcontractors with Phase 2 contract awards. Bidders interested in the program can fill out a pre-qualification application for submission to the Program Manager, who will forward to the RLP Administrator. If approved, the loan funds available to EBEs can be used to cover payroll, rent equipment or purchase supplies when accompanied by an invoice. The RJSCB will not administer the loan program or approve loans. Additional information will be provided upon request of interested bidders.”

00 4331A MWBE/DBE/SBE UTILIZATION AND WORKFORCE DIVERSITY - ATTACHMENTS

- A. Replace pages 15 of 17 and 16 of 17 with the attached Rochester Schools Modernization program Certification of Eligible Business Enterprise (EBE) Financial Status form followed by the Memorandum of understanding Concerning BOP Mentor/Protégé Program memo.

00 4383 MILESTONE SCHEDULE AND CRITICAL SUBMITTALS

- B. Replace Section in its entirety with the Section attached.

00 7216 GENERAL CONDITIONS

- A. Replace Section in its entirety with the Section attached.

01 1000 SUMMARY OF WORK

- A. Add paragraph 1.05, A, 3, ffff as follows:
- ffff. The General Contractor must have all roofing work complete to have the building enclosed in time per the Milestone schedule. If the permanent roofing cannot be installed, The General Contractor is to provide Temporary Roofing based on weather conditions and / or roofing installation instructions and warranty to meet the project milestone schedule to enclose the building and maintain weather tight.
- B. Replace paragraph 1.05, C, 1, A, 2, jj with the following:
- jj. Existing Decorative Metal Fencing at Monroe Avenue, Averill Avenue, and Pearl Street – Owner shall salvage decorative metal fencing with their own forces prior to Contractor demolition activities. Contractor shall coordinate demolition and new work installation activities with the RCSD through the Construction Manager. Remainder of existing decorative fencing not salvaged by the Owner shall be removed and disposed of by the Contractor.

01 2975A APPLICATION FOR RSMP LOAN FUND

- A. Add Section in its entirety.

01 2975B REVOLVING LOAN FUND PROCEDURE FOR THE ROCHESTER SCHOOLS MODERNIZATION PROGRAM

- A. Add Section in its entirety.

01 2976A AIA DOUCMENT G706 CMA (FORM)

- A. Add Section in its entirety.

01 5000 TEMPORARY CONSTRUCTION

A. Replace Section in its entirety with the attached Section.

01 5100 TEMPORARY POWER AND ELECTRICITY

A. Replace Section in its entirety with the attached Section.

01 5130 TEMPORARY HEATING COOLING AND VENTILATION

A. Replace Section in its entirety with the attached Section.

01 5150 TEMPORARY WATER

A. Replace Section in its entirety with the attached Section.

01 5160 TEMPORARY SANITARY

A. Replace Section in its entirety with the attached Section.

01 5190 TEMPORARY PROTECTION

A. Replace Section in its entirety with the attached Section.

01 5210 TEMPORARY MATERIAL HOISTING

A. Replace Section in its entirety with the attached Section.

01 5220 TEMPORARY ENCLOSURES

A. Replace Section in its entirety with the attached Section.

01 5500 ACCESS ROADS, PARKING, AND STAGING

A. Replace Section in its entirety with the attached Section.

01 5610 NOISE CONTROL

A. Replace Section in its entirety with the Section attached.

01 5690 CONSTRUCTION CLEANING

A. Replace Section in its entirety with the Section attached.

08 7100 HARDWARE

A. Add Section in its entirety.

09 6800 CARPETING

A. Omit Paragraph 2.02, A, 4 in its entirety.

B. Change critical radiant flux in paragraph 2.02, A, 5 from 0.22 watts/sq cm to read 0.45 watts/sq cm.

09 7000 GLASS FIBER CONCRETE PANEL INTERIOR WALL FINISHING SYSTEM

- A. Add Section in its entirety.

10 5050 METAL LOCKERS

- C. Add Paragraph 2.06, A as follows:

“2.06 ACCESSIBLE LOCKERS

- A. Five percent (5%) of lockers in each room scheduled to receive lockers shall be Accessible, or a minimum of 1 locker per room, whichever is greater.”

10 5051 METAL ATHLETIC LOCKERS

- A. Add Paragraph 2.3, A as follows:

“2.3 ACCESSIBLE LOCKERS

- A. Five percent (5%) of lockers in each room scheduled to receive lockers shall be Accessible, or a minimum of 1 locker per room, whichever is greater.”

11 6653 GYMNASIUM DIVIDER CURTAIN

- A. Replace paragraph 2.5, A in its entirety with the following:

“A. Provide two (2) key lock, 3-position, momentary contact wall control switches to lower, raise, and stop gymnasium divider. Provide switch boxes and plastic cover plates. The switches shall be installed remote from each other and require both to be engaged simultaneously to operate the gymnasium divider.

- B. Add paragraph 2.5, B as follows:

“B. Provide two (2) emergency stop push button switches, with back box. Locate one on each side of the divider curtain, remote from each other, and remote from wall control switches. Emergency stop buttons shall automatically and immediately stop the operation of the divider curtain, overriding the wall control switches.

22 4000 PLUMBING FIXTURES

- A. Replace Section in its entirety with the attached Section.

28 3102.20 ANALOG ADDRESSABLE FIRE ALARM SYSTEM

- A. Add attached Section in its entirety.

32 18 13 SYNTHETIC GRASS SURFACING

- A. Delete Paragraph 2.5. No field groomer is to be supplied for the project.

33 40 00 STORM DRAINAGE UTILITIES

- A. Add # 9 “Area Drains” to paragraph 1.2, A.  
B. Add #5 “Areas Drains” to paragraph 1.3, B.  
C. Add 2.14 “Area Drains”

- A. 9" x9" Polypropylene square catch basin 10" deep, 2 openings to receive pipe, and a 9" square galvanized steel grate.
- B. Include all necessary adapters for pipe installation, provide by the same manufacturer as the catch basin
- C. Provide catch basin by one of the following manufacturers.
  - a. NDS
  - b. Polylok
  - c. Greydock

## **CHANGES TO THE DRAWINGS**

### **C-003 – SITE PREPARATION PLAN**

- a. Revise Reference Note #15. "Owner to salvage extent of decorative metal fence panels and gates on site with their own forces. Contractor to assume his own removal of 50 l.f. of material that is left on site by the owner. Contractor is responsible to remove the cut off fence posts, gate posts, concrete footers and concrete mow strips and dispose of them.actor." See attached drawing ADC-001- Salvage fence- Addendum #1.

### **C-101 – MATERIALS PLAN**

- a. Revise pavements, walls, and curbing locations to accommodate revisions the building. See attached drawing ADC-002-Materials plan addendum #1.

### **C-102 – MATERIALS PLAN**

- a. Revise pavements, walls, and curbing locations to accommodate revisions the building. See attached drawing ADC-003 -Materials plan addendum #1.

### **C-103 – LAYOUT PLAN**

- a. Revise pavements, walls, and curbing locations to accommodate revisions the building. See attached drawing ADC-004 – Layout plan addendum #1.
- b. Revise pavements, walls, and curbing locations to accommodate revisions the building. See attached drawing ADC-005 – Layout plan addendum #1.

### **C-201 – GRADING PLAN**

- a. Revise grades and spot elevations as indicated. See attached drawing ADC-006- Grading plan addendum #1.

### **C-202 – GRADING PLAN ENLARGEMENT**

- a. Revise grades and spot elevations as indicated. See attached drawing ADC-007- Grading plan addendum #1.

### **C-203 – GRADING PLAN ENLARGEMENT**

- a. Revise grades and spot elevations as indicated. See attached drawing ADC-008- Grading plan addendum #1.
- b. Revise grades and spot elevations as indicated. See attached drawing ADC-009- Grading plan addendum #1.

### **C-301 – UTILITY PLAN**

- a. Add area drains where indicated. See attached drawing ADC-010- Utility plan addendum #1.



C-401 – PLANTING PLAN

- a. Revise planting location and quantities as indicated. See attached drawing ADC-011-Planting plan addendum #1.

C-603 – SITE DETAILS

- a. Revise detail #4 as indicated. See attached drawing ADC-012- ADA parking spaces-addendum #1.

C-604 – SITE DETAILS

- a. Add detail #7 Area Drain, as indicated. See attached drawing ADC-012- Detail addendum #1.

LS-100.1 – BASEMENT LEVEL FLOOR PLAN AREA C

- a. Revised framing in drawing to depict accurate layout of beams to be consistent with the fireproofing plan. See the attached drawing ADA-002.

LS-101 – FIRST FLOOR LIFE SAFETY PLAN

- a. Revised drawing indicating additional fire ratings at bubbled walls and columns. Replace sheet in its entirety with the attached LS-101.1.

LS-101.1 – FIRST LEVEL FLOOR PLAN AREA A

- a. Revised fire rated assemblies of exposed steel in Lobby A113.

LS-101.2 – FIRST LEVEL FLOOR PLAN AREA B

- a. Revised fire rated assemblies of exposed steel in Lobby A113.

D-103 – ROOF LEVEL DEMOLITION PLAN

- a. Add drawing in its entirety.

A-103 – ROOF LEVEL FLOOR PLAN

- a. Add drawing in its entirety.

A-210 – LONGITUDINAL BUILDING SECTION LOOKING SOUTH

- a. Add drawing in its entirety.

A-211 – LONGITUDINAL BUILDING SECTION LOOKING SOUTH

- a. Add drawing in its entirety.

A-212 – LONGITUDINAL BUILDING SECTION LOOKING SOUTH

- a. Add drawing in its entirety.

A-213 – CROSS BUILDING SECTION LOOKING WEST

- a. Add drawing in its entirety.

A-214 – CROSS BUILDING SECTION LOOKING WEST

- a. Add drawing in its entirety.

A-215 – CROSS BUILDING SECTION LOOKING WEST

- a. Add drawing in its entirety.

A-216 – LONGITUDINAL BUILDING SECTION LOOKING SOUTH

- a. Add drawing in its entirety.

A-500 – WALL SECTIONS

- a. Add drawing in its entirety.

A-501 – WALL SECTIONS

- a. Add drawing in its entirety.

A-503 – WALL SECTIONS

- a. Add drawing in its entirety.

A-504 – WALL SECTIONS

- a. Add drawing in its entirety.

A-505 – WALL SECTIONS

- a. Add drawing in its entirety.

A-603 – ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS

- a. Add drawing in its entirety.

A-604 – INTERIOR ELEVATIONS

- a. Replace drawing in its entirety.

A-801 – ROOM FINISH SCHEDULE

- a. Add drawing in its entirety.

A-803 – DOOR DETAILS

- a. Add drawing in its entirety.

A-804 – WINDOW SCHEDULE

- a. Add drawing in its entirety.

A-805 – WINDOW DETAILS

- a. Add drawing in its entirety.

A-806 – WINDOW DETAILS

- a. Add drawing in its entirety.

MD-100.1 BASEMENT LEVEL DEMOLITION PLAN AREA C

- b. Revise the demolition of the 4" condensate main in the Boiler Room as indicated on the attached sketch AD1-M01.
- c. Clarification - The 4" condensate main on the East side of Excavated Pool 013 has already been removed. Refer to attached sketch AD1-M01.
- d. Add the additional ductwork demolition in the Boys Shower 31B Storage Room as indicated on the attached sketch AD1-M01.

MD-100.2 BASEMENT LEVEL FLOOR PLAN AREA D

- a. Revise the demolition of the condensate main in the Pump Room and Boiler Room as indicated on the attached sketch AD1-M04.

M-100.1 BASEMENT LEVEL FLOORPLAN AREA C

- a. Add fire damper to 16x30 relief ductwork at the floor penetration in Loading Dock 61.
- b. Add fire damper to 10x16 exhaust ductwork at the floor penetration in Corridor BC-4.
- c. Add fire damper to (2) 12x8 exhaust ducts at the wall penetration in Corridor BC-4A.
- d. Add fire damper to 24x12 exhaust ductwork at the wall penetration in Tool Storage 57.
- e. Add fire damper to (4) 8x6 exhaust ducts at the wall penetration in Tool Storage 57.

M-100.2 BASEMENT LEVEL FLOOR PLAN AREA d

- a. Delete the fire damper in the (2) 4" dryer exhaust ducts at the wall penetration to Storage 72 & Corridor BC-8A.

M-101.1 FIRST LEVEL FLOOR PLAN AREA A

- a. Add (2) CO2 sensors in Gymnasium A100. Locate each CO2 sensor adjacent to the space sensor.

M-101.3 FIRST LEVEL FLOOR PLAN AREA C

- a. Add Drawing Note #5 and a point of connection to the existing 3/4" hwr riser located in Storage 117H.
- b. Add Drawing Note #5 and a point of connection to the existing 3/4" hwr riser located above Walk-In 117I.
- c. Add Drawing Note #5 and a point of connection to the existing 3/4" hws riser located above Walk-In 117K.
- d. Add Drawing Note #7 to read - Provide DDC tie in for the grease interceptor alarm panel. Coordinate requirements with the Plumbing Contractor.
- e. Add Drawing Note #7 to Kitchen 117. Refer to Drawing P-402 and coordinate with the Plumbing Contractor for final location of the alarm panel.

M-101.4 FIRST LEVEL FLOOR PLAN AREA D

- a. Revise the radiation for Weight Room A101 as indicated on the attached sketch AD1-M03.
- b. Revise the location and size of intake louver LV-06 as indicated on the attached sketch AD1-M03.
- c. Revise the routing of the 1 1/4" HWS/R piping in Upper Boiler Room as indicated on the attached sketch AD1-M03.
- d. Add the balancing work to the existing roof mounted toilet exhaust fan located over the Upper Pump Room as indicated on the attached sketch AD1-M03.

M-103.2 ROOF LEVEL PLANS AREAS C & D

- a. Revise Demolition Note #1 to read; Remove existing relief hood and associated controls. Remove the roof curb system.
- b. Revise Demolition Note #2 to read; Remove existing rooftop unit and associated controls. Remove the roof curb system.

M-600.3 MECHANICAL ROOM SECTIONS

- a. Add drawing in its entirety.

M-800.2 SCHEDULES

- a. Add the Radiant Floor System schedule as indicated on attached sketch AD1-M02.

P010.1 UNDERSLAB FLOOR PLAN AREA A

- a. Added sanitary from penthouse. Added sanitary from ice machine floor drain in Training A105. Refer to Addendum Drawing ADP-001.

P010.2 UNDERSLAB FLOOR PLAN AREA B

- a. Added trench drain to Washroom 63. Refer to Addendum Drawing ADP-002.
- b. Added sanitary and vent from Pool Mechanical Room A001. Refer to Addendum Drawing ADP-019.

P010.4 UNDERSLAB FLOOR PLAN AREA D

- a. Removed trap from exterior floor drain. Refer to Addendum Drawing ADP-003.

P100.3 BASEMENT LEVEL FLOOR PLAN AREA C

- a. Added trench drain to Washroom 63. Refer to Addendum Drawing ADP-004.
- b. Added sump pump and floor drain to Pool Mechanical Room A001. Added piping to outdoor floor drains located in lower stairway and scissor lift recess. Refer to Addendum Drawing ADP-018.

P101.2 FIRST FLOOR PLAN AREA B

- a. Added Vestibule 1C-7 Roof Drain. Added sanitary from penthouse. Refer to Addendum Drawing ADP-005.
- b. Added sanitary from penthouse. Added floor drain and cold water to ice machine in Training a105. Revised roof drain locations for background update. Added cold water for Penthouse. Refer to Addendum Drawing ADP-006.
- c. Added secondary roof drain discharges for background update. Refer to Addendum Drawing ADP-007

P101.3 FIRST FLOOR PLAN AREA C

- a. Added primary & secondary roof drains for background update. Refer to Addendum Drawing ADP-008.

P101.4 FIRST FLOOR PLAN AREA D

- a. Added primary & secondary roof drains for background update. Refer to Addendum Drawing ADP-009.

P102.2 SECOND FLOOR PLAN AREA B

- a. Revised Penthouse for updated mechanical layout. Refer to Addendum Drawing ADP-010.

P103.1 ROOF LEVEL AREA A

- a. Added single roof drain to vestibule area for background update. Refer to Addendum Drawing ADP-011.

P103.2 ROOF LEVEL AREA B

- a. Revised roof drain to Roof Area 5 locations for background update. Refer to Addendum Drawing ADP-012.

P103.3 ROOF LEVEL AREA C

- a. Added primary and secondary roof drains to Roof Area 13 for background update. Refer to Addendum Drawing ADP-013.

P103.4 ROOF LEVEL AREA D

- a. Added primary and secondary roof drains to Roof Area 9 for background update. Refer to Addendum Drawing ADP-014.

P301 RISER DIAGRAMS

- a. Added missing dimensions to Riser Diagram - Sanitary - Toilets 73B/ 74C. Refer to Addendum Drawing ADP-015.

P402 ENLARGED KITCHEN PLAN

- a. Washer/ Dryer changing from gas to electric per school request. Removed gas line to washer/ dryer. Increased gas line size from 1-1/2" to 2" for mechanical AHU located above gas hood. Refer to Addendum Drawing ADP-016.

P501 PLUMBING DETAILS

- a. Revised Emergency Gas Shutoff detail from push button to recessed in wall panel style. Refer to Addendum Drawing ADP-017.

E-000 GENERAL NOTES AND SYMBOLS LIST ELECTRICAL

- a. Replace drawing in its entirety.

E-100.1 BASEMENT LEVEL FLOOR PLAN AREA C LIGHTING

- a. Replace drawing in its entirety.

E-100.2 BASEMENT LEVEL FLOOR PLAN AREA D LIGHTING

- a. Replace drawing in its entirety.

E-101.2 FIRST LEVEL FLOOR PLAN AREA B LIGHTING

- a. Replace drawing in its entirety.

E-200.1 BASEMENT LEVEL FLOOR PLAN AREA C POWER & SS

- a. Replace drawing in its entirety.

E-200.2 BASEMENT LEVEL FLOOR PLAN AREA D POWER & SS

- a. Replace drawing in its entirety.

E-201.1 FIRST LEVEL FLOOR PLAN AREA A POWER & SS

- a. Replace drawing in its entirety.

E-201.2 FIRST LEVEL FLOOR PLAN AREA B POWER & SS

- a. Replace drawing in its entirety.

E-201.3 FIRST LEVEL FLOOR PLAN AREA C POWER & SS

- a. Replace drawing in its entirety.

E-201.4 FIRST LEVEL FLOOR PLAN AREA D POWER & SS

- a. Replace drawing in its entirety.

E-203.1 PENTHOUSE PLAN AREAS A & B POWER & SS

- a. Replace drawing in its entirety.

E-401.1 OVERALL FIRST FLOOR PLAN EXISTING POWER & SS

- a. Replace drawing in its entirety.

E-700.2 DETAILS

- a. Replace drawing in its entirety.

E-700.4 DETAILS AND RISER DIAGRAMS

- a. Replace drawing in its entirety.

ED-100.1 BASEMENT LEVEL DEMOLITION PLAN AREA C

- a. Add demolition note 2 to read as follows: Disconnect and remove all abandoned conduits, branch circuiting, devices and telecommunications wiring and associated devices in room. Provide all required field verification to determine what is abandoned and not used. Provide all required patching to match to surfaces from removal of the above mentioned.
- b. Boiler room 017, room 019, 023A, 023B, 023C, 023D, 023E, 35, 023G and Fitness room 021: Add demolition note 2.

ED-100.2 BASEMENT LEVEL DEMOLITION PLAN AREA D

- a. Add demolition note 2 to read as follows: Disconnect and remove all abandoned conduits, branch circuiting, devices and telecommunications wiring and associated devices in room. Provide all required field verification to determine what is abandoned and not used. Provide all required patching to match to surfaces from removal of the above mentioned.
- b. Boiler room 017, Pump rm. 015, room 007B, 007C, 007D, 007E, 007F, 007G, 007H, 007K, 009, 009A, 009B, 009C and 009D, : Add demolition note 2.

**END OF ADDENDUM NUMBER 1**

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00 01 10 Table of Contents – Project Manual

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#### **Division 01 – General Requirements**

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01 14 19A	Site Logistics Plan
01 25 00	Substitution Procedures
01 25 10	RFI Form
01 26 39	Field Orders
01 26 43	Change Order Requests
01 26 43A	RCSD Change Order Form with formulas
01 26 53	Labor Rate Worksheet Coversheet
01 26 53A	Labor Rate Worksheet
01 29 75	Revolving Loan Program and Procedures
01 29 75A	Application for RSMP Loan Fund
01 29 75B	Revolving Loan Fund Procedure for the Rochester Schools Modernization Program
01 29 76	Progress Payment Procedures
01 29 76A	AIA Document G706 CMA (Form)
01 29 76B	Payment Application Checklist
01 29 76C	Interim Waiver of Lien and Claim
01 29 76D	Final Waiver of Lien and Claim
01 30 00	Construction Procedures and Controls
01 31 13	Contract Coordination
01 32 16	Contractor's Construction Schedule
01 32 19	Submittal Procedures
01 32 26	Construction Progress Reports
01 35 00	Electronic Document Transfer
01 35 00A	Electronic File Transfer Agreement
01 35 23	Project Safety Standards
01 35 23A	Project Safety Forms
01 35 46	Indoor Air Quality Requirements
01 40 00	Special Inspections
01 40 00A	Special Inspections Form (NYSED)
01 43 39	Mockup Requirements
01 45 00	Quality Control
01 50 00	Temporary Construction
01 51 10	Temporary Power and Electricity
01 51 30	Temporary Heating, Cooling and Ventilation
01 51 50	Temporary Water
01 51 60	Temporary Sanitary
01 51 90	Temporary Protection
01 52 10	Temporary Material Hoisting
01 52 20	Temporary Enclosures
01 55 00	Access Roads, Parking and Staging Areas
01 56 10	Noise Control
01 56 39	Temporary Tree and Plant Protection
01 56 90	Construction Cleaning
01 60 00	Product Requirements
01 71 16	Acceptance of Existing Conditions
01 72 00	Execution



01 73 29	Cutting and Patching
01 74 13	Progress Cleaning
01 74 19	Construction Waste Management and Disposal
01 74 23	Final Cleaning
01 77 00	Closeout Procedures
01 78 23	Operations and Maintenance Manuals and Data
01 78 39	Project Record Documentation
01 79 00	Demonstration and Training Requirements
01 83 16	Air Barrier Systems
01 84 00	Maintenance Products
01 91 13	General Commissioning Requirements

## **VOLUME 2**

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### **Division 02 – Existing Conditions**

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02 4119	Selective Demolition
02 8213	Asbestos Abatement
02 8313	Removal of Lead Containing material

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### **Division 03 - Concrete**

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03 0510	Concrete Moisture Vapor Reduction Admix
03 3000	Cast-In-Place Concrete
03 3053	Miscellaneous Cast-In-Place Concrete
03 4500	Precast Architectural Concrete
03 4501	Precast Architectural Concrete for Sitework
03 7410	Concrete Repairs

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### **Division 04 - Masonry**

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04 2000	Unit Masonry
04 4301	Stone Masonry

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### **Division 05 - Metals**

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05 1200	Structural Steel Framing
05 2100	Steel Joist Framing
05 3100	Steel Decking
05 4000	Cold-formed Metal Framing
05 5000	Metal Fabrications
05 5100	Metal Stairs
05 5213	Pipe and Tube Railings

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### **Division 06 – Wood and Plastics**

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06 1000	Rough Carpentry
06 1500	Laminated Wood Decking
06 1800	Glued-Laminated Beams
06 2000	Finish Carpentry
06 4030	Architectural Woodwork Restoration
06 6400	Plastic Paneling

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### **Division 07 – Thermal and Moisture Protection**

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07 1326	Foundation Waterproofing
07 2100	Building Insulation
07 2400	EIFS System
07 2500	Weather Barriers
07 4113	Metal Roof Panels
07 4214	Metal Wall Panels
07 5300	EPDM Adhered Roofing
07 5360	SBS Modified Bitumen Roofing
07 6200	Sheet Metal Flashing and Trim
07 7100	Manufactured Roof Specialties
07 7123	Gutters and Downspouts
07 8100	Applied Fireproofing
07 8123	Intumescent Mastic Fireproofing
07 8400	Firestopping
07 9200	Joint Sealants
07 9513	Expansion Joint Covers

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### **Division 08 – Doors and Windows**

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08 1113	Hollow Metal Doors and Frames
08 1416	Flush Wood Doors
08 1743	FRP Flush Doors and Frames
08 2120	Stile and Rail Wood Doors
08 2130	Wood Window Unit and Trim Repairs
08 3110	Access Doors
08 3313	Coiling Counter Shutter
08 3613	Overhead Sectional Doors
08 4113	Aluminum-Framed Entrances and Storefront
08 5220	Aluminum Windows
08 5656	Security Screens
08 6200	Unit Skylights

08 7100 Door Hardware  
08 8000 Glazing

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**Division 09 - Finishes**

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09 2216 Non-Load Bearing Steel Framing  
09 2300 Gypsum Plastering  
09 2500 Gypsum Board  
09 3000 Ceramic Tile  
09 5120 Acoustical Ceiling Tiles  
09 6400 Wood Floor Restoration  
09 6420 Wood Gymnasium Floor  
09 6516 Vinyl Sheet Flooring  
09 6520 Resilient Tile Flooring  
09 6566 Resilient Athletic Flooring  
09 6613 Terrazzo Flooring Repair  
09 6623 Resinous Matrix Epoxy Terrazzo  
09 6800 Carpet  
09 9110 Painting  
09 9323 Interior Stains

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**Division 10 - Specialties**

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10 1100 Visual Display Boards  
10 1453 Traffic Signage  
10 2115 Toilet Compartments  
10 2123 Cubicle Curtains  
10 2601 Wall and Corner Guards  
10 4310 Signage  
10 5050 Metal Corridor Lockers  
10 5051 Metal Athletic Lockers  
10 5200 Fire Protection Specialties  
10 7516 Ground Set Flag Poles  
10 8010 Toilet and Bath Accessories

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**Division 11 - Equipment**

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11 1319.13 Dock Leveler  
11 1319.23 Scissor Lift  
11 3100 Residential Appliances  
11 4000 Food Service Equipment  
11 6623.13 Basketball Equipment  
11 6623.23 Gymnasium Volleyball Systems  
11 6623.53 Gymnasium Protection Accessories

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11 6643	Interior Scoreboards
11 6653	Gymnasium Divider Curtain
11 6653.13	Gymnasium Practice Cages
11 6833	Athletic Field Equipment
11 6643	Exterior Scoreboards

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### **Division 12 - Furnishings**

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12 3559	Display Case Doors
12 4813	Entrance Floor Mats and Frames
12 4901	Window Treatments – Shades
12 6613	Telescopic Bleachers
12 9300	Site Furnishings

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### **Division 13 – Special Construction**

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13 3415	Tubular Frame Bleachers
13 3424	Press Box

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### **Division 14 – Conveying Systems**

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14 2423	Hydraulic Passenger Elevator
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## **VOLUME 3**

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### **Division 22 - Plumbing**

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22 0500	Common Work Results for Plumbing
22 0513	Common Motor Requirements for Plumbing Equipment
22 0516	Expansion Fittings and Loops for Plumbing Piping
22 0519	Meters and Gauges for Plumbing Piping
22 0523	General Duty Valves for Plumbing Piping
22 0529	Hangers and Supports for Plumbing Piping and Equipment
22 0553	Identification for Plumbing Piping and Equipment
22 0700	Plumbing Insulation
22 0800	Commissioning of Plumbing
22 1116	Domestic Water Piping
22 1119	Domestic Water Piping Specialties
22 1123	Domestic Water Pumps
22 1124	Facility Natural-Gas Piping
22 1316	Sanitary Waste and Vent Piping
22 1319	Sanitary Waste Piping Specialties

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22 1413	Facility Storm Drainage Piping
22 1423	Storm Drainage Piping Specialties
22 1429	Sump Pumps
22 4000	Plumbing Fixtures
22 4500	Emergency Plumbing Fixtures
22 4700	Water Coolers

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### **Division 23 – Heating, Ventilation, and Air Conditioning**

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23 0500	BASIC MECHANICAL REQUIREMENTS
23 0504	ELECTRIC WIRING
23 0513	MOTORS
23 0519	GAUGES AND THERMOMETERS
23 0523	VALVES
23 0530	ROOF CURBS
23 0553	MECHANICAL IDENTIFICATION
23 0593	ADJUSTING AND BALANCING
23 0710	INSULATION
23 0800	COMMISSIONING OF MECHANICAL SYSTEMS
23 0923	BUILDING MANAGEMENT SYSTEM - ELECTRONIC DDC LOGIC
23 2010	PIPING SYSTEMS AND ACCESSORIES
23 2110	WATER SYSTEMS SPECIALTIES
23 3100	SHEET METAL AND DUCTWORK ACCESSORIES CONSTRUCTION
23 3313	FIRE AND SMOKE DAMPERS
23 3400	FANS
23 3410	CEILING FANS
23 3713	REGISTERS AND DIFFUSERS
23 3723.16	LOUVERS AND PENTHOUSES
23 7313	AIR HANDLING UNITS
23 8126.11	DUCTLESS SPLIT SYSTEM AIR CONDITIONER
23 8214	CEILING MOUNTED INDUCED VENTILATION UNITS
23 8216.11	Coils
23 8235	GRAVITY HEATING EQUIPMENT (HYDRONIC)
23 8239	UNIT HEATERS AND CABINET UNIT HEATERS

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### **Division 26 - Electrical**

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26 0500	BASIC ELECTRICAL REQUIREMENTS
26 0501	BASIC MATERIALS AND METHODS
26 0526	GROUNDING
26 0800	COMMISSIONING OF ELECTRONIC SYSTEMS
26 2000	ELECTRIC DISTRIBUTION
26 4113	LIGHTNING PROTECTION
26 5000	LIGHTING

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**Division 27 - Communications**

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27 0510	COMMUNICATIONS, GENERAL
27 2100	LOCAL AREA NETWORK SYSTEM
27 3100	TELEPHONE SYSTEM
27 3210	TELECOMMUNICATIONS SYSTEM (IP TRUNKING HYBRID)
27 4117	VIDEO SYSTEMS
27 4118	AUDIO ENTRY SYSTEM
27 5113.30	PUBLIC ADDRESS (PA) SYSTEM (SOUND REINFORCEMENT)
27 5313	SYNCHRONOUS CLOCK AND PROGRAM SYSTEMS

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**Division 28**

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28 1300	Access Control System
28 1600	Intrusion Detection System
28 2300.20	Closed Circuit Television Surveillance System (Digital)
28 3102	Point Addressable Fire Alarm System

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**Division 29**

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Not Used

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**Division 30**

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Not Used

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**Division 31 - Earthwork**

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31 1000	Site Clearing
31 2000	Earth Moving
31 2319	Dewatering
31 2500	Erosion and Sediment Controls
31 5000	Excavation Support and Protection

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**Divisions 32 – Exterior Improvements**

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32 1216	Asphalt Paving
32 1313	Concrete Paving
32 1613	Stone Curb

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32 1713	Parking Bumpers
32 1723	Pavement Markings
32 1726	Tactile Warning Surfacing
32 1813	Synthetic Grass Surfacing
32 3113	Chain Link Fencing and Gates
32 3119	Decorative Metal Fences and Gates
32 9115	Soil Preparation
32 9200	Turf and Grasses
32 9300	Plants

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**Divisions 33 – Utilities**

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33 1000	Water Utilities
33 3000	Sanitary Sewerage Utilities
33 4000	Storm Drainage Utilities

**END OF SECTION**





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**SECTION 00 21 13 - INSTRUCTIONS TO BIDDERS**

1.01 RECEIPT AND OPENING OF BIDS: The Rochester Joint Schools Construction Board (“RJSCB”), herein referred to as “Owner,” invites bids on the Bid Form attached hereto, all blanks of which must be appropriately filled in. Bids will be received at the time and place described in Section 00 11 13 ADVERTISEMENT FOR BIDS, and then at said time and place publicly opened and read aloud. The envelopes containing the bids must be sealed, addressed to Attention: **Pepin Accilien, Program Director, Suite 200, 70 Carlson Road, Rochester NY 14610**, and designated as:

- **General Construction and Demolition Contract #1**
- **Mechanical Construction and Demolition Contract #2**
- **Electrical Construction and Demolition Contract #3**
- **Plumbing Construction and Demolition Contract #4**

**Bid for RCSD James Monroe High School – Phase 2B of the Rochester Schools Modernization Program (“RSMP”)**

**SED Project Control No.:**  
SED # 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

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The contract entered into between the Owner and the successful bidder(s) shall be for work associated with Phase 2B of the Rochester Schools Modernization Program (“RSMP”) implementing RCSD James Monroe High School - Phase 2B of the RSMP (herein, “Project”), which work shall be set forth in detail in the Contract Documents issued by the Owner.

**PLEASE NOTE THAT THE PROJECT DOES NOT INCLUDE A PROJECT LABOR AGREEMENT (“PLA”) AS A PART OF THE PROJECT DOCUMENTS/REQUIREMENTS.**

1.02 BIDDING CONDITIONS:

1. Owner reserves the right to reject any or all bids received for the Project.
2. **INFORMALITIES:** The Owner may consider any bid not prepared and submitted in accordance with the provisions hereof to be informal, and may waive any informalities in or reject any and all such bids. Conditional bids will not be accepted. Any bid may be withdrawn prior to the above scheduled time for the opening of bids or authorized postponement thereof. No bidder may withdraw a bid within 45 calendar days after the actual date of the opening thereof.
3. **BID INTERPRETATIONS:** Bid amounts are required to be submitted both in writing and in figures. In the event of conflict, the written amount shall take precedence over the amount expressed in figures.

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4. **PRICE REGULATIONS:** By placing a bid under these instructions, the bidder certifies that the prices therein are in accordance with all New York State and United States laws and regulations.
- 1.03 **LATE BIDS:** Formal bids, amendments thereto, or requests for withdrawal of bids received by the Owner after the time specified for bid opening will be date stamped as evidence of late arrival and returned to the bidder unopened. The bidder assumes the risk of any delay in the mail or in the handling of the mail by employees and Consultants of the Owner. Whether sent by mail or by personal delivery, the bidder assumes the responsibility for having the bid submitted on time. *The time clock located in the Executive Director's office is designated the official timepiece for submission of bids. BIDS MUST BE SUBMITTED at the location defined herein under section 1.01 as the location where sealed bids are to be received. Bids will not be taken or accepted at any other location.*
- 2.01 **PREPARATION OF BIDS:** Bids must be submitted on the prescribed form. All applicable blank spaces on the Bid Form shall be legibly executed in a non-erasable medium. Interlineations, alterations and erasures must be initialed by the signer of the Bid Form. Unless otherwise noted, all bid prices must be expressed in both writing and in figures in the event of conflict, the written amount shall take precedent over the amount expressed in figures.
1. **BID SUBMISSION:** All bids must be submitted in sealed envelopes bearing, on the outside, the time bids are to be opened, the type of work, the name and SED Project Control Number of the job and building and the name and address of the bidder. Facsimile bids will not be accepted.
  2. **EXAMINATION OF PREMISES:** The submission of a bid will be considered as evidence that the bidder has examined the premises and acquainted himself/herself with present conditions under which he/she will be obliged to operate and that will affect in any manner the work to be done. A pre-bid conference will be held as described in Section 00 11 13 – ADVERTISEMENT FOR BIDS. It is the bidder's responsibility to request examination of Rochester City School District ("RCSD") or Owner documents necessary to allow the bidder to evaluate the premises, including as-built drawings and records showing known asbestos containing building material ("ACBM"). In accordance with Title 2 of the Toxic Substances Control Act ("TSCA") published at 15 U.S.C. § 2601 *et. seq.*, known as the Asbestos Hazard Emergency Response ("AHERA"), a Management Plan is available for public review at the administrative office of every RCSD building. The expense for emergency cleaning and air testing shall be borne by the Contractor responsible for disturbing ACBM. All proposals shall take into consideration all conditions that may affect the work of the Contract. No allowance will be made subsequently on behalf of the Contractor for any error, omission or negligence on his/her part.
  3. **DE-SCOPE MEETINGS:** There will be Contractor de-scope meetings held for all the lowest prospective bidders on **August 2 and 3, 2017**, and all such bidders need to be available on these dates. All apparent low bidders shall bring to the de-

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scope meeting the labor hours they have estimated in their bid and labor hours of their sub-contractors estimated in their sub-contractors' proposals.

4. **SCHEDULING:** Please refer to the the milestones and dates as denoted in Section 00 43 83 "Schedules and Milestones." **Bidders shall submit a detailed construction schedule to include critical dates, activities, milestones, and other pertinent information consistent with the Milestone Schedule provided.** It is expected that these costs are included in the base bid.
  5. The required DP-1 form, which must be submitted as part of this Bid, must be fully completed indicating that EBE participation, by category, meets the Project's requirements.
- 3.01 **DISCREPANCIES:** If any bidder should find any discrepancy, conflicts or omissions in the drawings and/or specifications, these shall be called to the attention of the Program Manager, in writing, not later than seven days before the bids are due. Such items will be reviewed, and if clarification is deemed to be necessary, appropriate addenda will be issued to all bidders. Neither the Owner nor the Owner's Representative(s) will be responsible for any oral instructions given during the bidding period. If inconsistencies and/or discrepancies are not brought to the attention of the Program Manager prior to bid, then the amount of work of greater value, or the product of greater quality, shall be considered applicable to determine the Project requirements at the time of the award of the contract, and thereafter.
- 4.01 **ADDENDA AND INTERPRETATIONS:** No interpretations of the meaning of the plans, specifications or other Contract Documents will be made to any bidder orally. Every request for such interpretation should be submitted in writing by e-mail to [monroe@rjscb.org](mailto:monroe@rjscb.org). To be given consideration, such requests must be received on/or before **4:00 p.m. on July 24, 2017**. Any and all such interpretations and all supplemental instructions will be in the form of written addenda to the Contract Documents and Addenda will be posted and hosted by [www.dataflow.com](http://www.dataflow.com) and [www.bidnet.com](http://www.bidnet.com). Any bidder who is preparing a bid based upon the Contract Documents available at various service agencies, is responsible for obtaining the addenda from the hosting service. Each bidder shall acknowledge, on the Bid Form, receipt of each addendum by number. Failure of any bidder to receive any such addendum or interpretation shall not relieve any bidder from any obligation under this bid as submitted. All addenda so issued shall become part of the Contract Documents.
- 5.01 **CERTIFICATE OF NON-COLLUSION IN BIDDING:** To comply with Section 103-d of the General Municipal Law of the State of New York, all bidders are required to sign a statement regarding non-collusive bidding. This statement has been made a part of the Bid Form (00 41 16).
1. **DISCLOSURE:** A bid shall not be considered for award nor shall any award be made where (.1), (.2) and (.3) in the Certification of Non-Collusion in Bidding have not been complied with; provided however, that in any case the bidder cannot make this certification, the bidder shall so state and shall furnish with the bid a signed statement which sets forth in detail the reasons therefore. Where (.1), (.2) and (.3) have not been complied with, the bid shall not be considered for award nor

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shall any award be made unless the Owner determines that such disclosure was not made for the purpose of restricting competition.

2. **PRICING INFORMATION:** The fact that a bidder, (A) has published price lists, rates or tariffs covering items being procured, (B) has informed prospective customers of proposed pending publication of new or revised price lists of such items being bid, does not constitute without more, a disclosure within the meaning of the required certification.

6.01 **RESPONSIBLE BIDDER:** The Owner has developed the following guidelines for the determination of public works contract responsibility consistent with the duties of contracting agencies and the court interpretations of State law and regulations governing competitive bidding in the belief that the public interest would be served by the uniform application of these guidelines on Owner public works contracts:

1. In determining the responsibility of a bidder for a public works contract, the Owner shall consider the following items:
  - A. Lack of proper certification, adequate expertise, prior experience with comparable projects, or financial resources to perform the work of the contract in a timely, competent and acceptable manner. Evidence of such lack of ability to perform may include, but shall not be limited to, evidence of suspension or revocation for cause of a professional license of any director or officer, or any holder of five percent (5%) or more of the bidders stock or equity; failure to submit satisfactory evidence of insurance, surety bond or financial responsibility; the status of bankruptcy petitions; suspension or debarment by state or federal government; or a history of termination of prior contracts for cause.
  - B. Criminal conduct in connection with government contracts or business activities. Evidence of such conduct may include a judgment of conviction or information obtained as a result of formal grant of immunity in connection with criminal prosecution of the bidder, and any director or officer, or holder of five percent (5%) or more of the shares or equity of the bidder, or any affiliate of the bidder.
  - C. Violations of safety and/or training standards as evidence by a pattern of OSHA violations or the existence of willful OSHA violations.
  - D. Willful non-compliance with the prevailing wage and supplements payment requirements of the Labor Law by the bidder or any affiliate of the bidder.
  - E. Any other significant Labor Law violation, including, but not limited to, child labor law violations, failure to pay wages, or unemployment insurance tax delinquencies.
  - F. Any significant violation of the Worker's Compensation Law, including, but not limited to the failure of a bidder to provide proof of worker's compensation or disability benefits coverage.
  - G. Any criminal conduct involving violations of the Environmental Conservation Law or other federal or state environmental statutes or regulations.
  - H. Any criminal conviction concerning formation of, or any business association with, an allegedly false or fraudulent Women's or Minority Business Enterprise ("W/MBE"), or any denial, de-certification, revocation or forfeiture or W/MBE status by New York State.

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- I. Any adverse determinations or administrative rulings by the Equal Employment Opportunity Commission and/or the New York State Human Rights Division that the bidder engaged in unlawful or discriminatory conduct.
  - J. Any other cause of so serious or compelling a nature that it raises questions about the responsibility of a bidder, including, but not limited to submission to the Owner of a false or misleading statement on a sworn Statement of Bidder Qualifications, or in some other form, in connection with a bid for or award of a contract.
  - K. In addition to the factors specified above, the Owner may also give due consideration to any other factors considered to bear upon bidder responsibility, including but not limited to, any mitigating factors brought to the Owner's attention by the bidder.
2. A sworn "Statement of Bidder Qualifications" form as attached in Section 00 45 13 shall be completed by all bidders. The Owner shall use the information contained in the response to the sworn statement in making a determination of bidder responsibility before awarding the contract. Any untrue representations made on the aforementioned form shall be grounds for rejection of the bidder's bid or immediate termination of the Contract.
- 6.02 QUALIFICATION OF BIDDERS: A bidder can be judged qualified only for the type of work in which he has demonstrated competence. The Owner will make such investigation it feels necessary to determine the competency of the bidder to perform the work for which he has submitted a bid. The bidder shall furnish promptly all information the Owner requests. The successful bidder will, at minimum, have successfully completed three (3) prior projects of similar size and scope to this Project, and shall respond and include all information set forth in the Statement of Bidder Qualifications form attached as Section 00 45 13, which must be signed and submitted with its bid.
- 6.03 REQUESTED BIDDER INFORMATION: Such information shall consist of the following and shall be included in each bidder's sworn Statement of Bidder Qualifications form (see Section 00 45 13), to be submitted with its bid.
1. PROJECTS: A list of a minimum of three completed projects involving work of a similar nature as that for which the bid has been submitted. List the most recent project first, continue with the next most recent and so on. For each project, include the name and address of the owner, the architect or engineer and the date of completion. Information concerning additional projects may be required by the Owner.
  2. LOCATION: The address and description of the bidder's place of business; a list of major equipment owned by the bidder.
  3. FINANCIAL STATEMENT: A certified or authenticated financial statement dated not more than thirty days prior to its submission. Include liquid assets, bonding capabilities and the banks or financial institutions associated with the business.
  4. NON-BANKRUPTCY: Certification that the bidder is not in bankruptcy and that its assets are not subject to receivership.

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- 7.01 **BID SECURITY:** Each bid must be accompanied by the certified check or bank draft of the bidder made payable to the "Rochester Joint Schools Construction Board," or by a bid bond prepared in the form of Bid Bond attached in Section 00 43 00, duly executed by the bidder as principal, and having as surety thereon a surety company authorized to do business in the State of New York approved by the Owner in an amount not less than five percent (5%) of the amount of the bid. Such checks will be returned by certified mail to all except the three lowest formal bidders within seven (7) business days after the formal opening of bids. All remaining checks will be returned by certified mail to the three lowest bidders within seven (7) business days after the Owner and the accepted bidder have executed the Contract or if no Contract has been so executed, within 45 calendar days after the date of the opening of the bids, upon demand of the bidder at any time thereafter so long as he has not been notified of the acceptance of his bid. Bid bonds are retained in the Owner. Upon request, such bonds will be returned.
- 8.01 **LIQUIDATED DAMAGES FOR FAILURE TO ENTER INTO CONTRACT:** The successful bidder, upon his/her failure or refusal to execute and deliver the Contract, bond and/or insurance certificates required within 10 calendar days after he/she has received notice of the acceptance of his/her bid, shall forfeit to the Owner, as liquidated damages for such failure or refusal, the security deposited with his/her bid.
- 9.01 **OBLIGATION OF BIDDER:** At the time of the opening of bids, each bidder will be presumed to have inspected the Project site(s) and to have read and to be thoroughly familiar with the Contract Documents, including all Addenda. The failure or omission of any bidder to receive or examine any form, instrument, or document shall in no way relieve any bidder from any obligation in respect to his/her bid.
- 10.01 **AWARD OF CONTRACT:** This Contract will be awarded to that qualified bidder whose base bid and whose prices for the Alternates accepted by the Owner, if any, total the lowest number of dollars.
1. **Notice of Award:** Within twenty-four (24) hours after award is made by the Owner to the successful bidder, the Owner or the Owner's Representative will mail to such bidder at the address given by him/her on his/her bid, a notice in writing to the effect that the award has been made to him/her, but the mailing or receipt of such notice shall not be a condition precedent to the right of the Owner to take such lawful action as it deems advisable.
- 11.01 **CONDITIONS OF THE CONTRACT:** The General Conditions of the Contract hereinafter fully set forth in Section 00 72 16 of the Project Manual and General Requirements set forth in Division 1 of the Project Manual, as well as all other terms and conditions set forth in the Contract Documents, will be rigidly enforced. The Owner's failure to insist on Contractor's performance with regard to any particular term, condition, or requirement of the Contract shall not function as a waiver or preclude the Owner from enforcing such terms, conditions or requirements going forward.
- 11.02 **LOCAL LABOR:** The Project will be funded in part through the issuance of tax-exempt bonds by the County of Monroe Industrial Development Agency ("COMIDA"). Pursuant to the terms of the agreement between COMIDA and the Owner, COMIDA has required

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that the Project use only "Local Labor," subject to certain permitted exceptions and waivers. The term "Local Labor" is defined as laborers residing in Monroe, Genesee, Livingston, Orleans, Ontario, Seneca, Wayne, Wyoming and Yates counties. Further information on the COMIDA program requirement applicable to the RSMP is available online at <http://www.growmonroe.org>. For Information only - Non-union bidders are encouraged to contact **Dan Kuntz of Laborer's Local 435, at 585-454-5800**, to discuss participation in the Local's certified apprenticeship program, PRIOR to submitting a bid. Contractor's participation in a NYS certified apprenticeship program in the trades that it employs is a requirement of this Project.

- 12.01 TAX EXEMPTION: Bidders shall not include in their bid the sales and compensating use taxes of the State of New York or of any City or County in the State of New York for any materials which are to be incorporated into the structures or landscape. The New York State Department of Taxation and Finance does not issue tax exemption numbers to government entities. Completion of any type of exempt organization certification form is, therefore, not required. An official Purchase Order issued to the vendor by a government entity is the only evidence required by the state to substantiate an exempt sale to a government purchaser.
- 12.02 WAGE RATES: The attention of bidders is called to the wage rates applicable to work performed under this Contract, as set forth in the Wage Rate Schedules referenced in Section 00 73 46. The Contractor and every subcontractor shall post in prominent and accessible places on the site of the work legible statements of all wage rates as specified in the Contract to be paid for the various classes of laborers, workmen and mechanics employed on the work.
- 12.03 STATE LAWS AND REGULATIONS: The bidder's attention is directed to the following instructions and information regarding construction operations, contracts and references to the provisions of law applicable in New York State.
1. COMPLIANCE: The Contractor and each and every subcontractor performing work at the site of the Project to which this Contract relates shall comply with the applicable provisions of the Labor Law, as amended, of the State of New York. Section 222-A of the Labor Law regarding elimination of dust hazard must be observed.
  2. HOURS OF WORK: First Shift will be from 7:00 a.m. to 3:30 p.m., and Second Shift will be from 2:00 p.m. to 10:30 p.m.
  3. NON-DISCRIMINATION: The Contractor must abide by all state, federal and local laws having jurisdiction over the work of this Contract. The Contract may be canceled or terminated by the Owner for cause upon a violation of the non-discrimination policy or for violation of any applicable laws.
  4. EFFECT OF FAILURE TO TESTIFY BEFORE GRAND JURY: Pursuant to the requirements of Section 103-A of the General Municipal Law of the State of New York, the following clause is inserted herein and is made a part of the Contract:

- 
- A. Upon the refusal of a person, when called before a grand jury to testify concerning any transaction or contract had with the state, any political subdivision thereof, or a public authority to sign a waiver of immunity against subsequent criminal prosecution or to answer any relevant question concerning such transaction or contract. Such person, and any firm, partnership, or corporation of which he is a member, partner, director or officer shall be disqualified from thereafter selling to, or submitting bids to, or receiving awards from, or entering into any contracts with any municipal corporation or any public department, agency, or official thereof, for goods, work, or services for a period of five years after such refusal; and any and all contracts made with any municipal corporation or any public department, agency or official thereof, since July 1, 1959, by such person, and by any form, partnership, or corporation of which he is a member, partner, director, or officer, may be cancelled or terminated by the municipal corporation without incurring any penalty or damages on account of such cancellation or termination; but any monies owing by the municipal corporation for goods delivered or work done prior to the cancellation or termination shall be paid.

12.04 WORKFORCE DIVERSITY AND EQUAL EMPLOYMENT OPPORTUNITIES: The Owner recognizes the need to take action to ensure that minority and women-owned business enterprises (W/MBEs), disadvantaged business enterprises (DBEs), small business enterprises (SBEs) and minority and women employees and principals are given the opportunity to participate in the performance of contracts entered into with the Owner. This opportunity for full participation in our free enterprise system by persons traditionally, socially and economically disadvantaged is essential to obtain social and economic equality. Accordingly, the Owner fosters and promotes the participation of such individuals and business firms in contracts with the Owner. Therefore, Contractor and all subcontractors and suppliers must fully comply with the requirements set forth in Section 00 43 31 ("MWBE/DBE/SBE Utilization and Workforce Diversity"), and use good faith efforts to attain the diversity and workforce utilization goals stated therein. Owner reserves the right to revise, adjust and/or modify the stated goals for contracts awarded at a later date as part of the RSMP. Contractor compliance with the requirements of Section 00 43 31 and related obligations will be monitored by Owner's Independent Compliance Officer ("ICO"). Failure to adequately complete the forms required to be submitted with the bid may be grounds for the Owner to reject the bid or disqualify the bidder.

12.05 APPRENTICESHIP REQUIREMENTS – The RSMP Phase 2 legislation also requires that Contractors and Subcontractors with construction contracts of \$1M or more "shall participate in NYS approved apprentice training programs in the trades it employs: that have been approved by not less than three years; have graduated at least one apprentice in last 3 years; have at least one apprentice currently enrolled in such apprentice training program; and have demonstrated that the program has made significant efforts to attract and retain minority apprentices."

13.01 PERFORMANCE AND LABOR & MATERIAL PAYMENT BONDS:



- 
1. SECURITY FOR FAITHFUL PERFORMANCE: Simultaneously with his/her delivery of the executed Contract, the successful bidder must deliver to the Owner an executed bond in the amount of one hundred percent (100%) of the accepted bid as security for the faithful performance of the Contract, prepared in the form of Performance Bond attached hereto in Section 00 61 13 and having as surety thereof such surety company or companies as are acceptable on bonds approved by the Owner, and as are authorized to transact business in New York State.
  2. SECURITY FOR LABOR & MATERIAL PAYMENT: Simultaneously with his/her delivery of the executed Contract, the successful bidder must deliver to the Owner an executed bond in the amount of one hundred percent (100%) of the accepted bid as security for the payment of all persons performing labor or furnishing materials in connection therewith, prepared in the form of Payment Bond attached hereto in Section 00 61 13 and having as surety thereof such surety company or companies as are acceptable on bonds approved by the Owner, and as are authorized to transact business in this State.
  3. POWER OF ATTORNEY: Attorneys in fact who sign Bid Bonds or Performance Bonds must file with each bond a certified copy of their Power of Attorney to sign said bonds.
- 13.02 COMMENCEMENT OF WORK: No Contractor or subcontractor shall commence work under this Contract until the Owner has approved the Contractor's payment bond and performance bond offered as security for faithful performance and payment for labor and material on the Project in accordance with paragraph 13.01 hereinabove.
- 14.01 CONDITIONS OF WORK: Each bidder must inform himself/herself fully of the conditions relating to the construction and labor under which the Work is now being or will be performed. Failure to do so will not relieve a successful bidder of his/her obligation to furnish all material and labor necessary to complete the contemplated Work for the consideration set forth in his/her bid. In so far as possible, the Contractor in the carrying out of its Work must employ such methods or means as will not cause any interruption of, or interference with, the work of any other contractor. The Contractor should undertake to perform the Contract in the shortest possible time consistent with good and workmanlike construction.
- 15.01 EQUIVALENTS: Where, in these specifications, certain kinds, types, brands, or manufacturers of materials are named, they shall be regarded as the required standard of quality. If two or more are named, these are presumed to be qualitatively equal, and the Contractor may select any one of the named items. If the bidder desires to use any kinds, types, brands, or manufacturers of materials other than those named in the specifications, it shall indicate in writing, with its bid, the kind, type, brand or manufacturer presumed as an equivalent in its bid.
1. If proposing an equivalent product or material, the bidder must submit a Request for Equivalent Review Form (Section 00 63 19) with its bid. The Architect will review the product or materials proposed as "equivalent" by the bidder and make a determination as to whether such product or materials are equivalent to those set forth in the Contract Documents. If not found to be equivalent by the Architect and if

the requirement for equivalency is not waived by the Owner, the bidder must indicate in writing prior to the award of the Contract that it will provide the specified product or materials without any increase in compensation, or the Owner may reject its bid as non-responsive.

2. The burden of proof of the equivalency of the proposed equivalent products or material is upon the bidder. The Architect's decision to approve or disprove a proposed equivalent shall be final.

END OF SECTION 00 21 13

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## SECTION 00 43 21 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

Drawings and general provisions of the Contract, including General Conditions of the Contract for Construction, and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

This Section includes administrative requirements, procedural requirements, and information governing allowances.

- a. Certain items are specified in the Contract Documents by allowances. In some cases, these allowances include installation. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when additional information is available for evaluation. If necessary, additional requirements will be issued by Allowance Authorizations and/or Change Order.
- b. **ALLOWANCES ARE TO BE INCLUDED IN THE APPROPRIATE CONTRACTOR'S BASE BID AND ONLY USED AS DIRECTED BY THE CONSTRUCTION MANAGER OR OWNER. UNIT PRICE COSTS WILL BE USED TO ADD OR DELETE SCOPE FROM ALLOWANCES.**  
(Reference 00 43 22 Unit Prices for additional information)

Types of allowances include the following:

- a. Lump Sum allowances
- b. Unit-cost allowances
- c. Quantity allowances

#### 1.3 SELECTION AND PURCHASE

Coordinate first paragraph below with Division 01 Section "Submittal Procedures." Indicate critical dates on both Contractor's Construction Schedule and Submittals Schedule.

At the earliest practical date after award of the Contract, advise the Construction Manager of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.

At Construction Manager's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.

Purchase products and systems selected by the Owner's Representatives from the designated supplier.

Allowances do not include mark ups, overhead or profit, which shall be included in the non-allowance portion of the Base Bid sum.

#### 1.4 SUBMITTALS

Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.

Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

#### 1.5 COORDINATION

1. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

#### 1.6 LUMP SUM OR QUANTITY ALLOWANCES

Allowance shall include cost to Contractor of specific products and materials under allowance and shall include taxes, freight, and delivery to Project site.

- a. All allowance material, equipment, and trucking costs will be verified with receipts and Invoices. Labor will be tracked with daily signed time sheets. Time sheets to be verified with Contractor foreman and Construction Manager Superintendent.
- b. If a unit cost was submitted for an item listed below, the allowance will first be used. The cost of the work will be based on the unit price and the term of measurement associated with the unit price. Once the allowance is exhausted, the Construction Manager will direct the Contractor to continue, if necessary, using the unit cost and the Contract Sum shall be adjusted accordingly by Change Order.
- c. Request for payment draws on allowance line items must include: copies of purchase orders, subcontracts, invoices, etc. None of which will have added overhead and profit.
- d. Unused allowance monies will be credited back to the owner, without deduction, via a deduct Change Order issued by the Owner.

#### 1.7 UNUSED MATERIALS

Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.

- a. If requested by Construction Manager, prepare unused material for storage by the Owner when it is not economically practical to return the material for credit. Otherwise, disposal of unused material is Contractor's responsibility.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES –

General Construction Contract No. 1

GC Allowance No. 1a. - \$20,000.00

Unforeseen Asbestos Abatement / Hazardous Materials Allowance

This allowance shall be used for additional general construction unforeseen asbestos abatement / hazardous materials work as related to the General Construction Contract. Any unused portion of the allowance shall be credited back to the Owner, and any such costs in excess of the allowance shall be resolved through the Change Order process outlined in the Project Manual.

GC Allowance No. 1b. - \$10,000.00

Construction Manager Field Office Allowance

This allowance shall be used for the Construction Manager's field office requirements. Any unused portion of the allowance shall be credited back to the Owner, and any such costs in excess of the allowance shall be resolved through the Change Order process outlined in the Project Manual.

GC Allowance No. 1c. - \$5,000.00

Business Opportunity Program Allowance

This allowance shall be used for work performed under the Business Opportunity Program ("BOP"). When billing for work performed under this allowance, all hourly rates will be required to be submitted along with the job title of the person being billed for.

Any unused portion of the allowance shall be credited back to the Owner, and any such costs in excess of the allowance shall be resolved through the Change Order process outlined in the Project Manual.

GC Allowance No. 1d. - \$20,000.00

Plaster Wall Patch Allowance

This allowance shall be used for labor and materials required that is related to patching of existing plaster walls. Areas of patching scopes of work included in this allowance shall be identified by the Owner and Architect. Any unused portion of the allowance shall be credited back to the Owner, and any such fees in excess of the allowance shall be resolved through the change order process outlined in the Project.

GC Allowance No. 1e. - \$10,000.00

Lock Cylinder Allowance

This allowance shall be used to procure lock cylinders with the Owners restricted keyway from the manufacturer for doors scheduled to have a locking cylinder. Any unused portion of the allowance shall be credited back to the Owner, and any such fees in excess of the allowance shall be resolved through the change order process outlined in the Project.

GC Allowance No. 1f. - \$20,000.00

Temporary Fence Allowance

This allowance shall be used for labor and material to erect temporary construction fencing as indicated on the Site Logistics Plan and as directed by the Construction Manager. Any unused portion of the allowance shall be credited back to the Owner, and any such fees in excess of the allowance shall be resolved through the change order process outlined in the Project.

Mechanical Contract No. 2

Mechanical Allowance No. 1a. - \$5,000.00

Business Opportunity Program Allowance

This allowance shall be used for work performed under the BOP. When billing for work performed under this allowance, all hourly rates will be required to be submitted along with the job title of the

person being billed for. Any unused portion of the allowance shall be credited back to the Owner, and any such costs in excess of the allowance shall be resolved through the Change Order process outlined in the Project Manual.

Electrical Contract No. 3

Electrical Allowance No. 1a. - \$5,000.00

Business Opportunity Program Allowance

This allowance shall be used for work performed under the BOP. When billing for work performed under this allowance, all hourly rates will be required to be submitted along with the job title of the person being billed for. Any unused portion of the allowance shall be credited back to the Owner, and any such costs in excess of the allowance shall be resolved through the change order process outlined in the Project.

Plumbing Contract No. 4

Plumbing Allowance No. 1a. - \$5,000.00

Business Opportunity Program Allowance

This allowance shall be used for work performed under the BOP. When billing for work performed under this allowance, all hourly rates will be required to be submitted along with the job title of the person being billed for. Any unused portion of the allowance shall be credited back to the Owner, and any such costs in excess of the allowance shall be resolved through the change order process outlined in the Project.

END OF SECTION 00 43 21





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**SECTION 00 43 22 - UNIT PRICES**

**PART 1 - GENERAL**

1.1 **RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General Conditions of the Contract for Construction and other Division 01 Specification Sections, apply to this Section.

1.2 **SUMMARY**

- A. This Section includes administrative and procedural requirements for unit prices.

1.3 **DEFINITIONS**

- A. Unit price is an amount proposed by bidders, stated on the Bid Form, as a price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if estimated quantities of Work required by the Contract Documents are increased or decreased.
- B. Mobilization shall include all activities and associated costs for transportation of Contractor's personnel, equipment, and operating supplies to the site; establishment of offices, buildings, and other necessary general facilities for the Contractor's operations at the site; premiums paid for performance and payment bonds including coinsurance and reinsurance agreements as applicable; and other items specified in this specification. Mobilization does not include the start of work at a specific area on the Project site while the Contractor is present at other areas immediately prior to, during or following the work.

1.4 **PROCEDURES**

- A. Unit prices include all necessary supervision, labor, materials, cost for delivery, installation, insurance, applicable taxes, overhead and profit.
- B. Measurement and Payment: Refer to individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured by the Owner's Representative.

- 
- D. List of Unit Prices: A list of unit prices is included in the Bid Form Section and paragraph 3.1 below. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

Unit Cost #	ITEM NAME	Value	Unit
UC-01a	Floor Tile & Mastic (Exist. Containment Area)		SF
UC-01b	Floor Tile & Mastic (New Containment Area)		SF
UC-02a	Cementitious Flooring (Exist. Containment Area)		SF
UC-02b	Cementitious Flooring (New Containment Area)		SF
UC-03a	Asbestos-Containing Debris in Crawl Space (Exist. Containment Area)		SF
UC-03b	Asbestos-Containing Debris in Crawl Space (New Containment Area)		SF
UC-04a	Interior Transite Panels (Exist. Containment Area)		SF
UC-04b	Interior Transite Panels (New Containment Area)		SF
UC-05a	Pipe Insulation on 2" – 6" Dia. Pipe (Exist. Containment Area)		LF
UC-05b	Pipe Insulation on 2" – 6" Dia. Pipe (New Containment Area)		LF
UC-06a	Sink & Sink Mastic (Exist. Containment Area)		EA
UC-06b	Sink & Sink Mastic (New Containment Area)		EA
UC-07a	Black Tar Patches on Ductwork (Exist. Containment Area)		EA
UC-07b	Black Tar Patches on Ductwork (New Containment Area)		EA
UC-08	Roofing Materials (Flashing, Coatings, Cement)		SF
UC-09a	Gaskets Associated with Flanges/Valves on 2" – 8" Dia. Piping (Exist. Containment Area)		EA
UC-09b	Gaskets Associated with Flanges/Valves on 2" – 8" Dia. Piping (New Containment Area)		EA
UC-10a	Sheet Flooring (Exist. Containment Area)		SF
UC-10b	Sheet Flooring (New Containment Area)		SF
UC-11a	Flexible Gasket/Vibration Dampener (Exist. Containment Area)		SF
UC-11b	Flexible Gasket/Vibration Dampener (New Containment Area)		SF
UC-12a	Corrugated Asbestos Paper Associated with Ductwork (Exist. Containment Area)		SF
UC-12b	Corrugated Asbestos Paper Associated with Ductwork (New Containment Area)		SF
UC-13a	1/2 " Isolation Ball Valve Insulated		EA
UC-14a	1" isolation Ball Valve Insulated		EA
UC-15a	1 1/2" Isolation Ball Valve Insulated		EA
UC-16a	2" Isolation Ball Valve Insulated		EA
UC-17a	3" Isolation Ball Valve Insulated		EA

END OF SECTION 00 43 22



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## SECTION 00 43 23 - ALTERNATES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

1. Drawings and general provisions of Contract, including General Conditions and Division 01 Specification Sections, apply to work of this Section.

#### 1.2 SUMMARY

1. This Section specifies administrative and procedural requirements for Alternates.
2. Definition: An Alternate is an amount proposed by Bidders and stated on the Bid Form for certain construction activities defined in the Bidding Requirements that may be added to or deducted from Base Bid amount if the Owner decides to accept a corresponding change in either the amount of construction to be completed, or in the products, materials, equipment, systems or installation methods described in Contract Documents. The cost or credit for each Alternate is the net addition to, or deduction from, the Contract Sum to incorporate, or delete, the Alternate into, or from, the Work. No other adjustments are made to the Contract Sum.
3. Bidding Requirements: Bidders for the work of all contracts shall submit lump sum prices for all base bid work of their respective contracts and all required Alternates. All contracts shall be awarded to the qualified bidder with the lowest submitted bid based upon the sum of the base bid and accepted Alternates, if any. In the event that an Alternate is not accepted at the time of contract award, the bidder agrees to hold the price for the Alternate for 60 days after award, at which time the Owner may elect to add the scope of work for the Alternate by Change Order.
4. Coordination: Coordinate related Work and modify or adjust adjacent Work as necessary to ensure that Work affected by each accepted Alternate is complete and fully integrated into the Project.
5. Schedule: A "Schedule of Alternates" is included in Section 3.1.
  1. Include as part of each Alternate, miscellaneous devices, accessory objects and similar items incidental to or required for a complete installation whether or not mentioned as part of the Alternate.

### PART 2 - PRODUCTS

Not Used

### PART 3 - EXECUTION

#### 3.1 SCHEDULE OF ALTERNATES

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RCSD James Monroe High School Phase 2B:  
Contracts:

- General Trades Contract No. 1
- Mechanical/HVAC Contract No. 2
- Electrical Contract No. 3
- Plumbing Contract No. 4

**Alternate #1 – Synthetic Turf System**

This Alternate includes a complete synthetic turf sports field system, including sub base, grading, drainage, etc. as specified in Section 32 1813, in lieu of a grass turf field, sub base, and grading.

**Alternate #2 – Grandstand Press Box**

This Alternate includes the addition of a press box to the telescopic bleacher grandstand seating as specified in Section 13 3424. Include the conductors and terminations of the premanufactured and pre-engineered press box to the building electrical system.

**Alternate #3 – SBS Roofing System**

This Alternate includes a complete warrantied SBS Roofing system as specified in Section 07 5360 in lieu of a complete warrantied EPDM Roofing System as specified in Section 07 5300.

**Alternate #4 – Windows in 7/8 Gymnasium and Cafeteria.**

This Alternate includes the complete replacement of windows within the 7/8 Gymnasium and Cafeteria spaces with windows specified in Sections 08 4500 and Section 08 5220 respectively. Work shall include abatement and removal of existing windows, existing window opening preparation for new work, installation of new windows, and supply and installation of window treatments as indicated on drawings.

**Alternate #5 – Basement Windows (Below 7/8 Gymnasium and Cafeteria)**

This Alternate includes the complete replacement of windows of the Basement Level below the 7/8 Gymnasium and Cafeteria spaces with windows specified in Section 08 5220. Work shall include abatement and removal of existing windows, existing window opening preparation for new work, installation of new windows, and supply and installation of window treatments as indicated on drawings.

**Alternate #6 – Epoxy Terrazzo at Lobby and Corridors**

This Alternate includes providing epoxy terrazzo floor system at Lobby and Corridors scheduled for porcelain tile in accordance with Section 09 6623, in lieu of the scheduled porcelain tile.

**Alternate #7 – Vestibule Type RTU**

This Alternate includes providing service vestibules on rooftop units RTU-001 and RTU-002. Work shall include unit heaters UH-R-1 and UH-R-2. The coil pumps HCP-RTU-001, 002 and CCP-RTU-001, 002 shall remain in the base bid, however shall be installed in the building below. Location to be determined.

END OF SECTION 00 43 23

# Rochester Schools Modernization Program

## Certification of Eligible Business Enterprise (EBE) Financial Status

*This Certification must be completed in full by any business intending to qualify as a certified Eligible Business Enterprise ("EBE") to provide labor, services and/or materials for any contract awarded under the Rochester Schools Modernization Program ("RSMP"), and submitted with the bid, proposal, or at such other time as permitted by the contract documents. Failure to timely provide a complete Certification, or to provide any back-up documentation as the Rochester Joint Schools Construction Board ("RJSCB") may reasonably require, may be grounds for disqualification from award of RSMP contracts.*

I, \_\_\_\_\_ certify that \_\_\_\_\_ (herein, "Company")  
**Owner/ Authorized Agent (print)** **Company Name (print)**  
meets the requirements of the Rochester Schools Modernization Program (RSMP) definition of an Eligible Business Enterprise ("EBE") in the following category (see page 2 for additional categories):

(Please check box if applicable)

"Small Business Enterprise (SBE)" shall mean a business concern which, together with its affiliates has no more than 15 employees and average annual receipts that do not exceed \$2 million. Annual receipts shall be calculated in accord with the standard established under 13 CFR 121.104. Number of employees shall be calculated in accord with the standards established under 13 CFR 121.106. Affiliates shall be determined in accord with the standards set forth under 13 CFR 121.103.

**NOTE:** *RSMP can only accept this application for consideration of Certification status in the Small Business Enterprise (SBE) category. Firms whose annual receipts over the last 3 years exceed \$2,000,000.00 are not eligible to be a certified Small Business Enterprise (SBE).*

I certify that I am familiar with the annual receipts for Company, including affiliates, as calculated in accordance with the standards established under 13 CFR 121.104;

I further certify as follows (please check the appropriate boxes below).

Company has been in business three (3) complete fiscal years or more.

Company has been in business less than three (3) complete fiscal years:

I can confirm that total receipts for the period the Company has been in business divided by the number of weeks Company has been in business, multiplied by 52, yields the following amount of total receipts:

Less than \$2,000,000.00;



Please check the box for any existing certifications held by Company.

**NOTE:** Certification for the following three (3) categories is acquired by application and approval for M/W/DBE status by the State of New York (ESD), City of New York (NYCSBS), Dormitory Authority of the State of New York (DASNY), Port Authority of New York & New Jersey (PANYNJ) or U.S Department of Transportation (USDOT). RSMP does not award certification for the following categories. \*\*

"Minority-Owned Business Enterprise (MBE)" shall mean an independent concern that is at least 51% owned, operated and controlled by a minority who is a citizen of the United States, or a permanent resident of the United States.

"Woman-Owned Business Enterprise (WBE)" shall mean an independent concern that is at least 51% owned, operated and controlled by female member(s) who are citizens of the United States or permanent residents of the United States.

"Disadvantaged Business Enterprise (DBE)" shall mean a business enterprise where the majority ownership is by a disadvantaged individual citizen of permanent resident of the United States meeting the certification requirements for a disadvantaged business enterprise in New York.

**\*\* Firms certified in multiple EBE categories must select one category for purposes of each contract.**

Please indicate which trades, services or commodities your business performs or offers:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By signing below, I certify that I am the owner, principal, or other authorized agent of Company. I will notify Rochester Schools Modernization Program's Independent Compliance Officer (ICO), if there are any changes that would alter the content of this Certification, within 30 days of such change occurring.

By: \_\_\_\_\_  
(Sign)

Name: \_\_\_\_\_  
(Print)

Title: \_\_\_\_\_  
(Print)

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

Notary Public: \_\_\_\_\_

State: \_\_\_\_\_

Registration Number: \_\_\_\_\_

My commission expires: \_\_\_\_\_





**MEMORANDUM OF UNDERSTANDING  
CONCERNING BOP MENTOR/PROTÉGÉ PROGRAM**

**THIS MEMORANDUM OF UNDERSTANDING CONCERNING BOP MENTOR/PROTÉGÉ PROGRAM** (the “**Memorandum**”) is entered into by and between \_\_\_\_\_ (“**Mentor**”) and \_\_\_\_\_ (“**Protégé**”). Mentor and Protégé are sometimes collectively referred to herein as the “**Parties**” and each individually as a “**Party**.”

**WHEREAS**, Chapter 416, Laws of the State of New York 2007, as amended by Chapter 553, Laws of New York 2014 (the “**Act**”), created the Rochester Joint Schools Construction Board (“**RJSCB**”) to implement a facilities modernization program for the Rochester City Schools, known as the Rochester Schools Modernization Program (“**RSMP**”); and

**WHEREAS**, pursuant to a Program Management Agreement dated December 15, 2015, by and between the RJSCB and Savin Engineers, P.C. (“**Savin**”) , Savin is acting as program manager for Phase 2 of the RSMP; and

**WHEREAS**, as part of its Business Opportunities Program, Savin has developed a Mentor/Protégé Program (the “**Program**”) that is designed to provide Eligible Business Enterprises (“**EBEs**”) with access to resources and training in business, management and technical expertise, and to provide opportunities for growth, expansion and increased participation in economic development; and

**WHEREAS**, under the Program, mentor are companies compensated via the capped allowance provided in their respective contracts with the RJSCB to assist protégé firms by providing guidance, technical support, as well as the benefit of the mentor companies’ expertise and experience, which is designed to enhance the protégé companies’ business, management and technical abilities, and improve its ability to successfully compete for contracts consistent with the goals of the Program; and

**WHEREAS**, Mentor desires to provide Protégé a variety of assistance, services, recommendations and advice relating to various facets of Protégé’s business, without any cost to Protégé; and

**WHEREAS**, Protégé desires to obtain the assistance, services, recommendations and advice from Mentor and understands that Mentor would not be willing to provide such assistance, services, recommendations and advice without the execution of this Memorandum by Protégé; and

**WHEREAS**, Protégé acknowledges that the Program and the assistance, services, recommendation and advice from Mentor is intended only to provide an informational resource to Protégé, and Protégé is solely responsible for its business decisions; and

**WHEREAS**, the applicable terms and conditions governing the Parties’ participation in the Program are provided in the Business Opportunities Program Mentor/Protégé Program Guidelines (“**Program Guidelines**”), a copy of which is attached hereto as **Exhibit A** and incorporated herein by reference.

**NOW THEREFORE**, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

**1. RELATIONSHIPS.** The relationship between Mentor and Protégé is voluntary. The Parties will foster open, collegial and timely communications for mutual business benefit. This Memorandum, in and of itself, does not constitute, create or give effect to or otherwise establish a joint venture, partnership or any other business or organization between or among the Parties.

**2. DEVELOPMENTAL ASSISTANCE PLAN.** Mentor and Protégé shall work together to develop, and thereafter implement, a written Mentor-Protégé Development Plan specific to Protégé's needs and circumstances with identified forms of developmental assistance and appropriate milestones, all in accordance with the Program Guidelines.

**3. COMMITMENTS.** Mentor is committed to providing an adequate amount of time to help Protégé achieve the agreed upon goals. The Protégé is committed to keeping Mentor fully informed on its progress towards the agreed upon goals. Mentor and Protégé will use their good faith efforts to comply with the current requirements of the Program as set forth in the Program Guidelines or otherwise established by Savin. Savin is committed to coordinating, facilitating and evaluating the Program.

**4. INDEPENDENCE.** The Parties agree that Mentor shall not assume managerial or administrative control of the Protégé during or following the period of engagement in the Program. The Parties further agree that Protégé is solely responsible for its business decisions. Protégé shall participate in the Program without fee or charge, and Mentor shall hold no claim against Protégé for compensation for services that it provides in connection with its participation in the Program.

**5. CONFIDENTIALITY.** In carrying out the terms of this Memorandum and the Program, it may be necessary for the Parties to provide proprietary data or information to one another. To the extent that such data or information is so identified in writing by the disclosing party at the time of the exchange, the receiving party agrees to hold such proprietary information in the strictest confidence for a period of three (3) years from the date of this Memorandum, and further agrees that, within that period of time, it will not use any such proprietary data or information, except in connection with the Program, and will not disclose any such proprietary data or information to any third party, unless authorized in writing by the disclosing party or required by law.

**6. DURATION AND TERMINATION.** Mentor and Protégé agree that the period of their Mentor-Protégé relationship shall be as established in the Developmental Assistance Plan but in no circumstances shall it be less than six (6) months. Mentor and Protégé shall strictly abide by the termination requirements and procedures set forth in the Program Guidelines. The termination of this Memorandum and the Mentor-Protégé relationship, however, shall not impair the obligations of the Mentor to perform its contractual obligations pursuant to RSMP prime contracts being performed with the Protégé. Likewise, termination of this Memorandum and the Mentor-Protégé relationship shall not impair the obligations of the Protégé to perform its contractual obligations under any current contract or subcontracts between Mentor and Protégé.

**7. RELEASE.** Protégé, for and behalf of itself, as well as all corporations, partnerships, persons, firms or entities affiliated with or related to Protégé, releases Mentor, Savin, the RJSCB,

the City of Rochester (the “City”), and the Rochester City School District (the “RCSD”) from any and all liabilities, claims, suits, losses, damages, costs and expenses arising from, by reason of or connected with the Program or the assistance, services, recommendation and advice from Mentor or by reason of any action, or alleged action taken or omitted, by Mentor in connection with its provision of assistance, services, recommendations and advice.

**8. INDEMNIFICATION.**

(a) To the fullest extent permitted by law, Protégé, for and on behalf of itself, as well as all corporations, partnerships, persons, firms or entities affiliated with or related to Protégé, shall indemnify, defend and hold harmless Mentor, Savin, the RJSCB, the City and the RCSD from and against any and all liabilities, claims, suits, losses, damages, costs and expenses arising from, by reason of or in connection with Protégé’s participation in the Program or by reason of any action, or alleged action taken or omitted, by Protégé in connection with the Program.

(b) To the fullest extent permitted by law, Mentor, for and on behalf of itself, as well as all corporations, partnerships, persons, firms or entities affiliated with or related to Mentor, shall indemnify, defend and hold harmless Savin, the RJSCB, the City and the RCSD from and against any and all liabilities, claims, suits, losses, damages, costs and expenses arising from, by reason of or in connection with Mentor’s participation in the Program or by reason of any action, or alleged action taken or omitted, by Mentor in connection with its provision of assistance, services, recommendations and advice to Protégé.

**9. NOTICES AND POINTS OF CONTACT.** The following individuals shall serve as the points of contact for the Program and are authorized to receive all notices under this Memorandum:

<u>Mentor</u>	<u>Protégé</u>
Name/Title	Name/Title
Address	Address
Tel	Tel.
Fax	Fax
Email	Email

**10. COMPLIANCE WITH LAWS.** The Parties shall comply at all times with all applicable laws, rules, regulations, orders, directives and requirements of any kind imposed by any federal, state or local government or any agency or instrumentality of any such government.

**11. ASSIGNMENT.** The rights granted hereunder are personal to the Parties and shall not be assigned, and any purported assignment in violation of this Paragraph shall be void.

**12. GOVERNING LAW.** This Memorandum shall be governed by the laws of the State of New York.

**13. ENTIRE AGREEMENT.** This Memorandum reflects the entire agreement between the Parties concerning the specific rights granted herein and may not be modified except in a writing signed by the Parties.

**14. COUNTERPARTS.** This Memorandum may be executed in any number of counterparts, each of which shall be deemed an original, but all shall together constitute one and the same.

**IN WITNESS WHEREOF**, the Parties hereto have executed this Memorandum as of the Effective Date.

\_\_\_\_\_ (“**PROTÉGÉ**”)

\_\_\_\_\_ (“**MENTOR**”)

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

Notary Public: \_\_\_\_\_

State: \_\_\_\_\_

Registration Number: \_\_\_\_\_

My commission expires: \_\_\_\_\_

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## **SECTION 00 43 83 - MILESTONE SCHEDULE AND CRITICAL SUBMITTALS**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.
- B. Related Work Described Elsewhere:
  - 1. Agreement, Section CA, General Conditions

#### **1.2 SUMMARY**

- A. The work specified in this section includes the requirement to prepare, maintain, and update all detailed schedules as described in this section using the Critical Path Method (CPM). The CPM Schedules shall be prepared in such a manner as to permit the orderly planning, organization, and execution of the Work; and shall sufficiently detail and accurately depict all the Work required by the Contract, including all Milestones as described in other sections of the Specifications, or elsewhere in the Contract Documents.

#### **1.3 DEFINITIONS**

- A. Contract Float: The number of working days between Contractor's anticipated completion date for early completion of the Work and the corresponding Contract Time.
- B. Expanded Project Schedule Update: The expanded detail of a Project Schedule Update to explain the construction sequence or other details.
- C. Six Week Look-Ahead Schedule: A schedule that shows planned Work over the next six weeks.
- D. Original Baseline Schedule: The first approved revision 0, Project Schedule.
- E. Guideline Schedule: The schedule included with the contract documents used as a guide for bidding purposes. Schedule durations may change from this schedule to depict the actual work-flow, but the start, finish and milestone dates will remain the same.
- F. Preliminary Schedule: The Contractor's construction schedule showing the planned Work over the first 120 days following Notice to Proceed.

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- G. Project Schedule: The Project Schedule shall represent the Contractor's best judgment and intended plan for the completion of the Work in compliance with the Contract Documents. It represents the Contractor's first schedule covering the complete duration of Contract Time submitted for review and approval of the CM. Upon approval by the CM, the Project Schedule shall become the Original Baseline Schedule. Subsequent revisions of the Project Schedule shall be Revised Baseline Schedules.
  - H. Total Float: The number of working days by which a part of the Work in the Baseline Schedule may be delayed from its early finish dates without extending the Contract Time.
  - I. Project Schedule Update: The latest Baseline Schedule updated monthly to reflect actual Work performed, but not logic changes in the Baseline Schedule.
  - J. Revised Baseline Schedule: The latest approved Baseline Schedule that reflects logic changes and all approved change orders.

#### 1.4 SUBMITTALS

- A. Project Schedule: Discuss with and obtain the Construction Managers acceptance of the proposed coding, activity-numbering system, screen layout, graphics used to generate the networks and bar charts, and exceptions to the size of the network printed sheets, all prior to submitting the Project Schedule.
  - 1. Submit to the Construction Manager a detailed Project Schedule within 14 calendar days after receipt of the Notice to Proceed using the CPM format, and in both hard copy and electronic format.
  - 2. The Project Schedule shall supersede the Preliminary Schedule upon the Construction Manager acceptance of the Project Schedule.
  - 3. The Project Schedule shall include a written narrative that explains all Work activity durations and describes the plan and approach for meeting interim and final completion milestones. Include as a minimum all: bases and assumptions used in preparing submittals, crew sizes, equipment requirements, anticipated delivery dates, restraints, critical path activities, production rates, production and maintenance shifts, time contingencies to account for weather conditions, permits, long-lead time items, and coordination issues with Construction Manager, Owner, utilities, other contractors or other third-parties. The narrative shall discuss the Contractor's plan for management of the site (e.g., laydown, staging, traffic, etc), and buildup of trade labor.

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4. A meeting will be held with all prime contractors upon receipt of the individual Project schedules to coordinate each schedule into one combined Project Schedule.
  5. Contractors are required to include on their Schedule of Values costs allocated for second shift, and this will align in detail with the milestone schedule which must be approved by the Construction Manager and Program Manager prior to first billing.
  6. A separate superintendent must be assigned for all 2<sup>nd</sup> shift work, and each prime contractor is required to provide a resume to be reviewed and approved by the Construction Manager and Program Manager prior to that person starting work.
  7. All prospective winning prime contractors will be required to bring to the de-scope meeting the labor hours they have estimated in their bid.
  8. Work force plan must be provided as a submittal and as a part of each prime contractor's first application for payment.
- B. Project Schedule Update and Progress Report: Submit the following on the first working day of each month, updated as of the 25th calendar day of the previous month:
1. Project Schedule Update
  2. Monthly-to-date Progress Report Comprising:
    - a. A narrative of all Work performed that includes the following.
    - b. Work completed since the last update.
    - c. Description of the current critical path, including any changes to the critical path since the last update and an identification of the reasons for the changes.
    - d. Description of problem areas.
    - e. Current and anticipated delays. Include causes thereof and impacts to other activities, milestones, and completion dates. Identify all activities where progress has slipped more than 5 working days since the last schedule update and discuss the cause of the delay or interruption.
    - f. Pending items, such as permits, change orders, and time adjustments, and status.
  3. Contract completion date status. Include the number of days ahead of, or behind all milestone dates and the contract completion date, and the reason(s) for any change(s).
- C. Submit a Project Schedule Update and month-to-date Progress Report in accordance with the foregoing requirements upon submitting any proposed

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Revised Baseline Schedule. Use a cut-off date for the Project Schedule Update that corresponds to the effective date for the proposed Revised Baseline Schedule.

- D. Look-Ahead Schedule: Submit the four-week look-ahead schedule at least 24 hours prior to the progress meetings, with number of copies submitted, layout, and format acceptable to the Construction Manager.
- E. Time Impact Analysis: Submit in accordance with, and when required by the General Conditions of the Agreement.
- F. All submittals, within the time provided herein and in a form acceptable to the Construction Manager, of schedules, monthly progress reports, schedule updates, and revisions of the Project Schedule are conditions precedent for the Contractor to receive the full amount of each progress payment, less retention and other adjustments. Should the Contractor fail to submit timely, acceptable reports, schedules, updates, or revisions, the Construction Manager may withhold the amount designated in the Schedule of Values from each monthly partial payment estimate. Should the Contractor continue to fail to submit the above mentioned submittals the Construction Manager may, in addition to other retentions or remedies provided by the Contract or by applicable law, withhold 25 percent of each monthly partial payment estimate until acceptable submittals have been received.

### 1.5 QUALIFICATIONS

- A. The Contractor shall perform the work covered in this section with personnel having at least three (3) years experience in using computer based scheduling on construction projects of the magnitude and complexity of this project.

## PART 2 - PRODUCTS (Not Used)

## PART 3 – EXECUTION

### 3.1 SUMMARY

- A. The Schedule shall be constructed and the work performed in accordance with the milestone dates set forth and the coordinated project schedule. Any additional costs for overtime, shift work and/or additional manpower, required to maintain these milestones, will be at each Contractor's expense.



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### 3.2 PROJECT SCHEDULE

- A. Furnish a Project Schedule and participate with the Construction Manager in its review, evaluation and coordination. Such joint review and coordination shall not relieve the Contractor of the sole responsibility for scheduling the Work. Furnish a Project Schedule demonstrating adequate planning and execution of all phases of the Work and which enables the Construction Manager to evaluate progress of the Work. Maintain such Project Schedule so that it shall, at all times, represent the Contractor's planned means, methods, and sequences for performing the Work required under this Contract within the Contract Time specified. Show the following schedule elements in detail:
1. The start and completion of all items of the Work, their major components and milestone completion dates, including Contract milestones.
  2. Mobilization
  3. Submittals and approval of submittals including shop drawings, permits and steps required to obtain permits, safety plans, temporary facilities and utilities, record documents, and operators and maintenance manuals.
    - a. Critical submittals shall be tracked independently and include but are not limited to the following: N/A

All construction activities, including the fabrication and delivery of materials or equipment incorporated into the Work, adjacent Work done by others and Work area changes.
  4. The number of working days required for completion of each activity and all the Work.
  5. Commissioning, punch list and close out.
- B. The Contractor's key personnel involved in preparing the Project Schedule shall initiate and attend one or more meetings upon direction of the Construction Manager to present to, and coordinate with the other prime contractors. Personnel shall be competent and prepared to discuss:
1. The planned logic, content, form, and layout of the activity table (spreadsheet).
  2. The bar chart format.

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3. Activity identification and coding. Number the initial activity identifications (IDs) by 10s or 100s to allow for the insertion of any future required activities that enhance detail.
  4. Presentation and printouts of the Project Schedule.
- C. The Construction Manager will review the proposed Project Schedule and meet with the Contractor's key personnel performing the scheduling to discuss the proposed construction schedule within 21 calendar days of its submission.
- D. The Construction Manager acceptance of the Project Schedule shall not:
1. Imply that the Construction Manager has conducted an exhaustive review or evaluation of the sequencing, logic, or duration of all activities contained therein.
  2. Constitute a warranty of its feasibility, suitability, reasonableness, or completeness.
  3. Provide a basis for claims occasioned by any future revisions required in the schedule to conform to the Contract requirements.
  4. Relieve the Contractor of the sole responsibility for scheduling and performing the work.
  5. Relieve the Contractor of sole responsibility for means, methods, and techniques of construction employed.
- E. The Project Schedule initially accepted by the Construction Manager shall be designated as the Original Baseline Schedule. The accepted Original Baseline Schedule shall not be updated, revised, or changed over the Project duration, but shall be used for comparison with the current updated schedule, until a Revised Baseline Schedule is accepted by the Construction Manager.
- F. An activity shall be defined as an element of Work that is measurable and definable and that is necessary to accomplish in order to incrementally achieve progress of the Work as a whole. At any time, the Construction Manager may require additional detail to that previously provided. Float shall not be an activity.
1. Carefully analyze activities comprising the Project Schedule to determine activity durations in units of project working days. Base durations on the labor crews, crafts, equipment, and materials required to perform each activity. Unless supplemented with a detailed linear schedule to indicate production progress, split activities with durations greater than 30 working days into activities no longer than 20 working days, except for summary activities and non-construction activities such as submittal preparation and review,

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material procurement, and equipment delivery, or as allowed by the Construction Manager.

2. Clearly identify the critical path on the Project Schedule.
3. Identify the following as lag activities and include full lag time associated therewith in the duration of the activity. Do not schedule negative lag time.
  - a. Start-to-start and finish-to-finish lag times greater than 1 working day.
  - b. Finish-to-start lag times greater than 1 day.
  - c. Start-to- finish lag times of any kind.

### 3.3 LIQUIDATED DAMAGES

- A. Critical submittals shall carry liquidated damages of the value listed in 00 72 16 General Conditions.

### 3.4 DEFINITIONS OF CONTRACT MILESTONES

#### **A. SUBSTANTIAL COMPLETION:**

As determined by the Construction Manager, all work and systems are complete, operational, tested and ready for facility operations and certificate of occupancy. All closeout documentation required by the "Closeout Procedures," including warranties, certifications, record or 'as-built' documents, and operation and maintenance manuals, etc., must be submitted and satisfactory. Substantial Completion will not be recognized by Owner until all Closeout Documents and Submittals are received in full and are satisfactory to Owner's Representatives.

#### **B. FINAL COMPLETION:**

As determined by the Construction Manager, all punch list work is complete; and closeout documentation, warranties, certifications, record documents, and operation and maintenance manuals are approved.

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### 3.5 MILESTONE SCHEDULE

- A.** In order to meet the Substantial Completion dates, all overtime costs for extended work hours, Saturdays (and Sundays when required) must be included in the contractor's bid; no special consideration will be given to any contractor that fails to include said costs in his/her bid. Extended work days and/or hours will be required to make up lost time due to weather and other unforeseen occurrences.
- B.** A guideline schedule is included in herein as an illustration setting forth goals for milestone activities for the Project and anticipated completion dates. The annexed guideline is for bidding purposes only and may be modified during the course of the Contract. Contractors must complete all Work in a coordinated manner to achieve timely completion. Failure to act in accordance with coordination requirements of the Contract shall subject the responsible Contractor to liquidated damages as specified in the General Conditions and sustained failure to perform as required may be grounds for termination of its Contract.

#### **The following schedule reflects anticipated milestones for the Bid Period:**

Advertisement for Bid:	June 23, 2017
Pre-bid Conference #1	July 12, 2017
Pre-bid Conference #2	July 21, 2017
Contractor's Prebid RFI Submission Period:	July 3, 2017 to July 24, 17
Bids Received:	August 1, 2017 by 2:00 p.m.
Contractor Bid Review Meetings:	August 2 & 3, 2017
Bid Award:	August 4, 2017
Notice of Award / Notice to Proceed:	August 7, 2017

#### **The following schedule reflects milestones before Mobilization:**

List of Subcontractors & Contact Information (incl. Sub Tier) Submitted:	August 11, 2017
Acquire Approved Prime Contractor Bonds and Insurances:	August 18, 2017
Acquire Approved Subcontractor Insurances:	August 18, 2017

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**The following schedule reflects milestones for Critical Submittals:**

Asbestos Abatement Posting:	August 14, 2017
Selective Demolition Plan:	August 18, 2017
Foundation Rebar/Anchor Bolt Shop Drawings:	August 22, 2017
Structural Steel Shop Drawings:	September 6, 2017
Coordination Drawings:	September 21, 2017
Kitchen Equipment:	September 21, 2017
HVAC Equipment and Controls:	September 21, 2017
Electrical Equipment/Lighting Complete:	September 21, 2017
Doors, Frames and Hardware:	October 6, 2017
Windows/Storefront System:	October 6, 2017
Precast Frame System:	October 6, 2017
All Other Submittals:	November 6, 2017

The following schedule reflects anticipated milestone dates (date task to be completed by) for the construction period. **All primes should anticipate that double shift, premium, and second shift work will be required including coordination with the other trades to meet the project milestone dates.** All Primes need to understand that this is a fast track project and Time is of the Essence for any and all aspects of this project.

Mobilize to Site:	August 21, 2017
Selective Demolition:	August 21, 2017
New Gas Main New Service Operational:	September 29, 2017
Footings and Foundations:	November 24, 2017
Building Enclosure/Weather Tight:	December 31, 2017
Kitchen Substantial Completion:	June 1, 2018
Life Safety Systems Complete (All Primes):	July 16, 2018

Fire Marshall Final Inspection:	July 16, 2018
Addition Substantial Completion Date:	July 16, 2018
Final Completion Date:	August 13, 2018

END OF SECTION 00 43 83

**SECTION 00 72 16 – GENERAL CONDITIONS**

1. INDEX TO GENERAL CONDITIONS:
  1. Index to General Conditions
  2. Definitions
  3. Extension of Contract Time
  4. Changes
  5. Performance and Labor and Material Payment Bonds
  6. Contractor's Insurance
  7. Indemnification
  8. Contract Beneficiaries
  9. Qualifications for Employment
  10. Hours of Work
  11. Wage Rates
  12. Local Labor
  13. Contractor Self-Performance Requirements
  14. Payment of Employees
  15. Safety and Contractor Control
  16. Requisition for Payment
  17. Payment and Retainage by Owner
  18. Substitutions
  19. Inspection and Tests
  20. Protection of Work and Property
  21. Protection of Persons and Property
  22. Final Payment
  23. Acceptance of Final Payment Constitutes Release
  24. Additional or Substitute Bond

25. Plans and Specifications
26. Additional Instructions and Detail Drawings
27. Submittals
28. Subsurface Conditions
29. Contractor's Title to Materials
30. Superintendence by Contractor
31. Representations of Contractor
32. Separate Contracts
33. Patent Rights
34. Surveys, Permits and Regulations
35. Correction of Work
36. Delivery of Statements Required by Owner
37. Owner's Right to Withhold Payment
38. Contractor's Obligation to Complete Contract
39. Owner's Right Terminate Contract for Cause or Stop Work
40. Owner's Right to Terminate or Suspend Contract for Convenience
41. Contractor's Right to Stop Work or Terminate Contract
42. Uses of Premises and Removal of Debris
43. Weather Conditions
44. Architect Discretion
45. Owner's Representatives' Discretion
46. Provisions Required by Law Deemed Inserted
47. Subletting, Successor and Assigns
48. Guarantee
49. Liquidated Damages
50. Record Documents and Audits



51. Governing Law
52. Claims and Disputes
53. Apprenticeship Requirements

ATTACHMENT A: Part 5 of Title 29 of the U.S. Code of Federal Regulations. The terms of "Attachment A" are incorporated by reference into these General Conditions, where applicable.

2. DEFINITIONS: The following terms as used in this Contract are respectively defined as follows:
  1. "ADDENDA": Written or graphic instruments issued prior to the execution of the Contract which modify or interpret the bidding documents, including the drawings and Specifications, by additions, deletions, clarification, corrections, or supplementary information.
  2. "ALTERNATE": Variation in Contract requirements on which a separate price is to be received by the Owner as part of the bid. If the Alternate is accepted in writing by the Owner, the variation is then a part of the Contract and the amount of money quoted be added to or deleted from the base bid is taken into account in determining the "Contract Sum."
  3. "ARCHITECT/ENGINEER": The design professional appointed by the Owner who prepared or contributed to the Contract Documents for the particular Project site at issue. The term "Architect" as used in the Contract Documents is interchangeable with the term "Engineer," unless otherwise specified. They will bear similar responsibilities, and their authorized representatives will have equal authority relative to any duties or activities when referred to in the Contract Documents or in executing any field responsibilities.
  4. "CHANGE ORDER": A written order or directive to the Contractor from Owner's Representative requiring or approving a change to the Work, including any resulting adjustment to the Contract Sum or Contract Time, as further described in Section 4, "Changes."
  5. "COMIDA": County of Monroe Industrial Development Agency, created under Article 18A of the General Municipal Law of New York State for the purpose of promoting local workforce development in Monroe County and the surrounding areas.
  6. "CONSTRUCTION MANAGER": The Construction Manager designated by the Owner for the Project shall serve as the Contractor's primary contact for, and Owner's authorized agent on, the Project.
  7. "CONTRACT DOCUMENTS": The plans, Specifications, drawings, Form of Contract, and other documents included in the "Project Manual" issued for bid on this Project, setting forth the Work of the Project and requirements for performing same, as well as any Addenda issued in accordance with the procedures provided for in the Contract.

8. "CONTRACT SUM": The price for which Contractor agrees to perform the Work and denominated by the Contract as such. The Contract Sum shall include Owner-approved Alternates.
9. "CONTRACT TIME": The time in which Contractor must perform all obligations under the Contract as set forth in the Contract Documents "Schedule and Milestones" and as may be modified from time to time as provided for in these General Conditions.
10. "CONTRACTOR": The contractor named as such having entered into this Contract with the Owner. The term "Contractor" shall also include the Contractor, its officers, employees, agents, contractees, and Subcontractors of any tier.
11. "DISTRICT" or "RCSD": The Rochester City School District.
12. "EXTRA WORK": Work not included in the Contract Documents that is nonetheless required to be completed to achieve the purpose of the Project. Contractor must notify Construction manager of such "Extra Work" and follow procedures in Section 4 prior to performing same.
13. "FURNISH": shall mean purchasing and/or fabricate and deliver to the Project site or other location when so designated.
14. "INSTALL": shall mean build-in, mount in position, connect or apply the specified object(s) and, where applicable, adjust and start-in operation.
15. "KNOWLEDGE," and similar terms used in reference to the Contractor, shall mean that which the Contractor knows, recognizes or discovers (or should reasonably know, recognize, or discover) in exercising the care, skill, and diligence required by the Contract Documents or by applicable law, including anything reasonably inferable by Contractor.
16. "OWNER": Owner means Rochester Joint Schools Construction Board" and "RJSCB," as the legally authorized agent of the Rochester City School District ("RCSD") and the City of Rochester.
17. "OWNER'S REPRESENTATIVE": Owner's Representative may refer herein to the Architect/Engineer, Construction Manager or Program Manager, the relative roles of which are defined more specifically in the Contract Documents.
18. "PROGRAM MANAGER": Owner's Representative and authorized agent of Owner for the Project, Savin Engineers P.C. and Gilbane Building Company ("Savin/Gilbane").
19. "PROJECT": the John Walton Spencer School No. 16 (Phase 2A) of the Rochester Schools Modernization Program (RSMP), and all required Work and other obligations under this Contract relating thereto.
20. "PROVIDE": When the word "provide" (including derivatives thereof) is used, it shall mean to properly fabricate, complete, transport, deliver, install, erect, construct, test and furnish all labor, materials, equipment, apparatus, appurtenances, and all items

and expenses necessary to properly complete in place ready for operation or use under the terms of the Contract Documents.”

21. “RCSD DESIGN GROUP”: the Rochester City School District Facilities Department.
  22. “ROCHESTER JOINT SCHOOLS CONSTRUCTION BOARD” or “RJSCB”: See definition of “Owner,” *supra*.
  23. “SPECIFICATIONS”: This term refers to the written Specifications of the Project as identified by number in the Project Manual issued at the time of bidding for this Contract, as may be amended from time to time in accordance herewith. When used in the singular or with reference to a particular number, this term shall refer to the particular Specification so referenced.
  24. “SUBCONTRACTOR”: A person, firm or corporation supplying labor and materials or labor for work at the site of the Project by agreement with the Contractor. This term may be used to refer to “Subcontractors” of any tier, unless specified otherwise herein.
  25. “TECHNOLOGY CONSULTANT”: Authorized agent of Owner for technology and networking components of the Owner’s District-Wide Technology (“DWT”) Project.
  26. “TRUSTEE”: The bank or financial agency serving as trustee under the Indenture of Trust entered into with the Owner relating to financing of the Project.
  27. “WORK”: Work to be performed, including work normally done, at the location of the Project, pursuant to the Contract Documents.
3. EXTENSION OF CONTRACT TIME: If the Contractor is delayed in the completion of its Work by reason of unforeseeable causes beyond its control and without its fault or negligence, including, but not restricted to, acts of God or of the public enemy, active Owner interference, acts of neglect of any other Contractor, fires, floods, epidemics, quarantines, strikes, riots, civil commotion, or freight embargoes, the period herein specified for completion of the Work (herein, the “Contract Time”) shall be extended by such time as shall be fixed by the Owner. Other extensions of time requested by Contractor shall be addressed in accordance with Section 4 of these General Conditions and Section 01 26 39 of the Contract Documents (“Change Order Procedures”).
1. NO WAIVER: No such extension of the Contract Time shall be deemed a waiver by the Owner of its right to terminate the Contract for abandonment or delay by the Contractor as herein provided or relieve the Contractor from full responsibility for performance of its obligations of the Contract.
4. CHANGES:
1. EXTRA WORK: If Contractor identifies any work or material not required under the Contract Documents, but for which it will seek to perform and request payment, it must immediately notify the Construction Manager and follow the procedures for Change Orders as set forth in Section 01 26 39 of the Contract Documents (“Change Order Procedures”). No payment shall issue for performance of “Extra Work” before it is approved by authorized Change Order.

2. **CHANGE ORDERS:** The Owner shall have the right to require by written order of the Architect, Construction Manager or Program Manager (“Change Order”), and without written notice to the Contractor’s sureties, changes in, additions to, or deductions from Work; provided that if changes, additions, or deductions are made, the general character of the Work as a whole is not substantially changed thereby. Adjustment in the Contract Sum, if any, because of any Change Order shall be determined as provided in this Section, and any claim for extension of Contract Time shall be adjusted at the time of issuing the Change Order. No claim for change, addition, or deduction, or adjustment of the Contract Sum, or extension of Contract Time, shall be made or allowed unless done pursuant to an authorized Change Order. Plans without an authorized Change Order shall not be construed as authorizing a particular change to the Work or extension of Contract Time. The Contractor shall give written notice of any claims arising from a proposed Change Order to the Construction Manager before the commencement of the work required by such Change Order. The Construction Manager shall inform the Program Manager of such written notice received from the Contractor. No course of conduct or dealings between the parties, nor express or implied acceptance of conduct or dealings between the parties, nor express or implied acceptance of alterations or additions to the Work, and no claim that the Owner has been unjustly enriched by any alteration or addition to the Work, whether or not there is, in fact, any unjust enrichment owing to the Work, shall be the basis of any claim to an increase in any amounts due under the Contract Documents or a change in any time period provided for in the Contract Documents. Where an authorized Change Order diminishes the quantity of Work to be done, it shall not constitute a basis for a claim for damages or anticipated profits on Work that may be dispensed with.
  1. **EFFECT OF CHANGE:** It shall be understood and agreed that authorized Change Orders shall in no way invalidate the Contract and shall not affect or discharge the bond furnished by the Contractor.
  2. **NECESSARY ADJUSTMENTS:** The Contractor, without charge, shall make such slight alterations to the site or equipment, fixtures or machinery thereupon located as may be necessary to make adjustable parts fit to fixed parts, leaving all complete and in proper order when done.
3. **DETERMINING CHANGES IN COST OF THE WORK:** Adjustments, if any, in the Contract Sum by reason of an authorized Change Order shall be limited to the amount specified therein. Adjustments to the Contract Sum, if any, shall be determined by one of the following methods, the Owner reserving the right to select the method or methods at the time the written Change Order is issued.
  1. **UNIT PRICES:** The unit prices are those fixed by the Contract as set forth in the Schedule of Unit Prices at Section 00 43 22 of the Project Manual, or as may be submitted and approved by the Construction Manager upon issuance of a written Change Order. If the deletion, addition or alteration implicates Work that is measured by a Unit Price, as determined by the Construction Manager, the Contract Sum shall be increased or decreased in accordance with the appropriate Unit Price.

2. **COST-PLUS or "TIME AND MATERIALS"**: As herein used, cost refers to the actual and necessary costs incurred by the Contractor by reasons of the change in the Work for:
  1. **LABOR**: Labor costs shall be the amount shown on the Contractor's payrolls in compliance with the Wage Rate Schedule (Section 00 73 46), or time sheets attributable to the particular work required by the Change Order. The Contractor is obligated to keep time sheets sufficient for the Owner's Representative to accurately determine labor costs arising from a Change Order.
  2. **MATERIALS**: Material cost shall be the net price paid for material delivered to the Project. The Contractor must keep tickets for all materials and equipment used in a form acceptable to the Owner's Representative when performing Change Order work. If any material previously required is deleted by the written order of the Owner after it has been delivered or tendered by the Contractor and consequently will not retain its full value for other uses, the Contractor shall be allowed the actual cost of the omitted material less a fair market value of material, as determined by the Architect and Owner's Representatives.
  3. **EQUIPMENT RENTAL**: Equipment rental shall be the actual additional cost incurred for necessary equipment to perform the Work. The Contractor must document its equipment costs in a form acceptable to Owner's Representative to receive payment for Change Order work, and shall not duplicate costs for equipment already on site or required to be on site for performance of ongoing Project Work. Costs shall not be allowed in excess of usual rentals charged in the Rochester area for similar equipment of like size and condition as determined by the Construction Manager, including the costs of necessary supplies and repairs for operating the equipment.
3. **"PLUS"**: As herein used is defined as a percentage to be added to the above "cost" items to cover project management, superintendence, use of ordinary tools, bond, warranty, insurance premiums (other than Worker's Compensation Insurance), overhead expenses, and profit. This percentage shall be mutually agreed upon but not more than fifteen percentum (15%) of the cost items set forth above.
4. **RECORDS**: The Contractor shall keep complete and accurate daily records of all costs for performance of Change Order work, and shall present such information in such form and at such time as the Owner's Representatives may direct. Refer to Section 01 26 39, "Change Order Procedures," for further information regarding procedures for Changes in the Work.
5. **PERFORMANCE AND LABOR AND MATERIAL PAYMENT BONDS**: The Contractor shall furnish surety bonds in the forms set forth in the Contract Documents (Section 00 61 13) in an amount at least equal to one hundred percent (100%) of the Contract Sum as security for faithful performance of this Contract ("Performance Bond") and for the payment of all persons performing labor and furnishing materials in connection with this

Contract ("Labor and Material Payment Bond"). No Contractor may commence Work under this Contract unless and until the tendered Performance Bond and Labor and Material Payment Bond have been approved by Owner.

6. **CONTRACTOR'S INSURANCE: Before commencing Work under the Contract, the Contractor shall obtain at its own expense and cost all the insurance required by and specified in Section 00 73 16, and shall provide to the Owner, for the Owner's approval, certificates of insurance evidencing that the coverage, coverage extensions, policy endorsements and waivers of subrogation required by and specified in Section 00 73 16 are maintained in force.**
  
7. INDEMNIFICATION: The Rochester Joint Schools Construction Board ("RJSCB" or "Owner") is an entity created by special authorizing legislation of the State of New York to serve as an agent for the Rochester City School District ("RCSD") and the City of Rochester ("City") for purposes of administering the Rochester School Modernization Program ("RSMP"). RSMP Projects are funded in part through bonds available through COMIDA, and governed by the Indenture of Trust from the Trustee bank, U.S. Bank National Association (the "Trustee").
  1. To the fullest extent permitted by law, regardless of whether or not a lawsuit has actually commenced, upon initial notice of any claim or potential claim received by the Contractor, RJSCB, RCSD or the City, the Contractor agrees to indemnify, defend and hold harmless the Owner (RJSCB), the RCSD, the City, COMIDA, the Trustee, Program Manager, Architect/Engineer(s), Technology Consultant (if any), Construction Manager(s), and each of such parties' respective affiliates, subsidiaries, directors, trustees, officers, board members, employees and agents (collectively, the "Indemnitees"), from and against any and all liabilities, obligations, claims, damages, demands, causes of action, losses and expenses (including, without limitation, reasonable attorneys' fees and costs of suit) directly or indirectly relating to, arising from or in connection with: (a) any actual or alleged negligent act or omission or willful misconduct of the Contractor or any of its agents, employees or subcontractors, or anyone directly or indirectly employed by them or anyone for whose acts they may be liable; (b) any breach by the Contractor of any of its representations, warranties, covenants or obligations set forth in this Contract; (c) injury to person or property (including death) to the extent arising out of or resulting from violation of any state, federal, or local law, rule or regulation by Contractor or any of its agents, employees or subcontractors, or anyone directly or indirectly employed by them or anyone for whose acts they may be liable; or (d) any actual or alleged injuries to person or property (including death) suffered by any of the Contractor's agents, employees or subcontractors, or any employees or agents of the Contractor's agents or subcontractors in the course of their performance or completion of any Work or other obligations arising under or pursuant to the Contract, or upon any premises owned, leased or controlled by the Indemnitees, or any Project site. Nothing herein shall be construed as requiring the Contractor to indemnify the Indemnitees or any of them for any claim for damage or loss of any kind to the extent such loss or damage is caused by the negligence or willful misconduct of the Indemnitees or any of them. The Contractor shall include in each Subcontractor agreement for the Project a provision substantially similar to this indemnification provision.

2. In claims against any person or entity to be indemnified under the above Section 7.1 by an employee of the Contractor, a Subcontractor, anyone directly or indirectly employed by them, or anyone for whose acts they may be liable, the indemnification obligations set forth in Section 7.1 shall not be limited by any limitation on amount or type of damages, compensation or benefits payable by or for the Contractor or a Subcontractor under any applicable worker's compensation laws, disability benefit laws, or other employee benefit laws or regulations.
8. **CONTRACT BENEFICIARIES:** No obligation of the Architect/Engineer and/or Owner's Representatives to the Owner, whether expressed by agreement or implied by law, shall be construed as intended for the benefit of the Contractor. Nothing in the Contract Documents nor in any aspect of the Architect/Engineer/Owner's representatives' relationship with the Owner shall create or give rise to any duty whatsoever on the part of the Architect/Engineer/Owner's Representatives to the Contractor.
9. **QUALIFICATIONS FOR EMPLOYMENT:** Qualifications for employment of persons performing Work under this Contract shall comply with applicable federal and New York State laws and regulations.
10. **HOURS OF WORK:** First Shift is to be from 7:00 a.m. to 3:30 p.m., and Second Shift is to be from 2:00 p.m. to 10:30 p.m.
11. **WAGE RATES:** Each employee engaged in work on the Project shall be compensated as set forth in accordance with the wage rates required by New York State and federal laws and regulations as set forth in the Wage Rate Schedule (Section 00 73 46).
  1. To the extent that the Contractor may be required by state or federal law or regulation to pay at a higher rate than that payable at the time of Contract award due to post-award changes to the published U.S. Davis-Bacon or New York State prevailing wage rates, such rate increase(s) shall not constitute a basis for an increase in the Contract Sum.
  2. The Contractor shall post at conspicuous points on the site of the Project a schedule showing all current wage rates and all authorized deductions, if any, from unpaid wages actually earned.
12. **LOCAL LABOR:** The Project will be funded in part through the issuance of tax-exempt bonds by the County of Monroe Industrial Development Agency ("COMIDA"). Pursuant to the terms of the agreement between COMIDA and the Owner, COMIDA requires that the Project use only "Local Labor," subject to certain permitted exceptions and waivers. The term "Local Labor" is defined as laborers residing in Monroe, Genesee, Livingston, Orleans, Ontario, Seneca, Wayne, Wyoming and Yates counties. Those providing labor to the Project must use best efforts to achieve compliance with the Local Labor requirement. Further information on the COMIDA program requirements applicable to the RSMP is available online at <http://www.growmonroe.org>.
13. **CONTRACTOR SELF-PERFORMANCE REQUIREMENTS:** Notwithstanding any other provision of the Contract Documents, at least five percent (5%) of the direct labor, materials, systems or equipment shall be provided by the Contractor. The Contractor shall subcontract no more than 95% of the total contract value. Contractors are required to

certify, prior to award, that they can and will comply with this subcontracting limitation requirements. The unit measure (dollar value, unit price, schedule of value) utilized to determine the quantities of work, labor and material furnished by the Contractor shall be determined by the Construction Manager and the Architect and shall be appropriate for the scope of work involved. For the purpose of this Section, work performed by supervisory personnel, persons above the level of foreman, or office personnel, all overhead costs, including bonds and certificates, shop drawings and similar items shall not count towards the percentage of Work provided by the Contractor.

14. PAYMENT OF EMPLOYEES: The Contractor and each Subcontractor shall pay each of their employees engaged in work on the Project under this Contract according to the terms of the NYS Department of Labor.

15. SAFETY AND CONTRACTOR CONTROL:

1. The Contractor shall be responsible for compliance with all state and federal laws, rules and regulations as may be applicable to the Work or Project, as well as for initiating and adhering to all safety precautions and programs in connection with the performance of the Work as more fully set forth in Section 01 35 23, "Project Safety Standards."
2. The Contractor shall supervise and direct the Work using its best skill and attention, and shall be solely responsible for, and have control over, all construction means, methods, techniques, sequences and procedures and for coordinating the Work. Should the Contract Documents give specific instructions as to any of the foregoing categories, the Contractor shall be solely responsible for the safety thereof unless it shall give timely written notice to the Owner's Representative that such instructions are not sufficiently safe, in which event the Contractor shall await specific instructions from the Owner's Representative before proceeding with the Work. If the Contractor is instructed to proceed with the instructions of the Contract Documents or other method prescribed by the Owner over the Contractor's objection, the Contractor shall not be liable for any resulting loss or damage arising solely from said instructions.
3. The Contractor shall immediately notify the Construction Manager in writing, with a copy of such notice being sent simultaneously to the Owner, of any accident or other occurrence impacting the health or safety of any laborer working on the Project, or resulting in personal injury, death, or property damage arising from the Work. Such notice shall be provided within twenty-four (24) hours of the accident or occurrence to which it relates and shall reasonably identify and describe the laborer(s) affected, by whom such person(s) were employed or hired, the date, time, location and circumstances of the accident or occurrence, the action taken to address the accident or occurrence, and names and contact information for any witnesses or observers thereof. The Contractor's failure to timely report accidents and incidents as set forth herein may be grounds for termination or suspension of the Contract, or grounds for deeming the Contractor ineligible for the award of any future RSMP contracts.

16. REQUISITION FOR PAYMENT:

1. Prior to submission of first application for payment, the Contractor shall submit to the Construction Manager a schedule of values of the various portions of its Work. The



schedule of values approved by the Construction Manager shall be the basis for all requests for payment as determined from the progress of Work to be verified and approved by the Architect.

2. All applications for monthly and/or final payment shall be submitted in triplicate on forms furnished by the Owner's Representative.
  3. All applications for monthly and/or final payment must include certified payroll records for each week included in that payment period. Contractors, and subcontractors of every tier, must maintain the full social security number and current addresses of each person performing any part of the Project Work. Contractors, and every subcontractor, shall submit this information to Owner prior to commencement of any Work, and shall update this information in writing to the Owner as changes are made (e.g., upon the hiring of an additional laborer or change to existing addresses). Contractors and subcontractors must include the full address for each laborer with each weekly certified payroll application, and at least the last four digits of that laborers' social security number. Providing complete certified payroll information is a condition of processing monthly payment requisitions, and failure to do so could delay payment. The Contractor shall provide, and require its subcontractors to provide, such additional information as the Owner may reasonably request to ensure that the requirements of certified payroll records are met.
  4. In addition to the above, forms required in accordance with Section 00 43 31 ("MWBE/DBE/SBE Utilization and Workforce Diversity") shall also be included with each payment application. In addition, the Owner shall require submission of an Interim Lien Waiver, included in the Project Manual at Section 01 29 76 ("Progress Payment Procedures") with each payment application, together with such additional forms or information as Owner may reasonably require. Failure to submit required forms or information may result in non-payment or delayed payment to the Contractor. Contractors and Subcontractors are required to keep original payroll records or transcripts for a period of three years from date of final payment.
17. PAYMENT AND RETAINAGE BY OWNER:
1. The Owner will make payment to the Contractor based upon a duly certified and approved estimate of the work performed by the Contractor, but the Owner will retain five percent (5%) of the amount of each such estimate until final completion and acceptance of all Work covered by this Contract.
  2. The Contractor shall pay:
    1. for all transportation and utility services not later than the 15th day of the calendar month following that in which such services were rendered;
    2. for all materials, tools and other expendable equipment to the extent of 95 percent of the cost thereof, not later than the 15th day of the calendar month following that in which such materials, tools and equipment are delivered at the site the Project, and the balance of the cost thereof not later than the 30th day following the completion of that part of the work in or on which such materials, tools and equipment are incorporated or used;

3. to each Subcontractor, not later than the 15<sup>th</sup> day following each payment to the Contractor, the respective amounts allowed the Contractor on account of the work performed by its Subcontractors, to the extent of each such Subcontractor's interest therein; and
4. in accordance with all state and federal laws, rules and regulations as may apply to the Work and payment for same.

18. SUBSTITUTIONS:

1. SUBSTITUTIONS: After award of the Contract, the Owner at its option may permit substitutions of material or products named in the Contract Documents. If the Contractor proposes to use products or material differing from the brand, type, kind or manufacturer listed in the Contract Documents, a list of proposed substitutions must be submitted to the Construction Manager on the Equivalent Review Form (Section 00 63 19) under a Submittal Cover Form (Section 00 62 11) within three days of the award of the Contract, or in such time as will permit review by the Architect without impacting the Project schedule.
2. The Contractor must submit all required back-up data for each proposed substitution through the Construction Manager, including such additional back-up as may be requested by Architect. All requests for substitution shall be posted to the Submittal Exchange web site.
3. No additional substitutions will be considered after this initial process unless substitution is required due to a specified material, product or equipment being unavailable in the market place, or if the Owner may realize a credit or reduction in the Contract Sum. Upon such circumstances, additional substitutions will be considered by the Architect if submitted in accordance with the above requirements.
4. Substitutions shall comply with the following requirements:
  - i) The materials, products and equipment described in the Contract Documents establish the standard of required quality, function, dimension and appearance expected. Substitution requests will be considered only if these standards are met, or exceeded, and the Architect and Owner subsequently approve the substitutions.
  - ii) Each request for substitution shall include:
    - i. The name of the material, product or equipment item for which substitution is requested and a complete description of the proposed substitute, including drawings, cuts, performance and test data, and any other information necessary for a complete evaluation.
    - ii. A statement setting forth any changes in other materials, products, equipment or other Work that incorporation of the substitution would require.

5. The burden of proof of the merit of the proposed substitution is upon the proposer. The Architect's decision of approval or disapproval of a proposed substitution shall be final and will be set forth in writing.
6. If any of the following conditions occur due to substitutions, the Contractor making the substitution shall bear the cost of such conditions, including payment for services rendered by the Architect:
  - a. Redesign required for any of the Work.
  - b. Material or quantity changes for any of the Work.
  - c. Delays in any of the Work.
  - d. Requests for Information (RFI's) required due to substitutions or substitution requests.
7. All material and workmanship shall, in every respect, be in accordance with what, in the opinion of the Owner's Representative, is in conformity with approved modern practice.
8. In all cases, new materials shall be used unless this provision is waived by written notice from the Owner's Representative.
19. **INSPECTION AND TESTS:** All material and workmanship (if not otherwise designated by the Contract Documents) shall be subject to inspection, examination and test by the Construction Manager or other Owner's Representatives, at any and all times during manufacture and/or construction and at any and all places where such manufacture and/or construction are carried on.
  1. Without additional charge, the Contractor shall furnish promptly all reasonable facilities, labor and materials necessary to make tests so required safe and convenient.
  2. Special, full-size and performance tests shall be as described in the Specifications.
  3. If at any time before final acceptance of the entire Work, the Construction Manager considers necessary or advisable an examination of any portion of the Work already completed by removing or tearing out the same, the Contractor shall upon request furnish promptly all necessary facilities, labor and materials.
  4. If such work is found to be defective in any material respect, due to fault of the Contractor or any Subcontractor, or if any work shall be covered over without the approval or consent of the Architect or Construction Manager (whether or not the same shall be defective), the Contractor shall be liable for the expenses of such examination and of satisfactory reconstruction.
  5. If, however, such approval and consent shall have been given and such work is found to meet the requirements of the Contract, the Contractor shall be recompensed for the expenses of such examination and reconstruction in a manner herein provided for the payment of Change Orders.

6. The selection of bureaus, laboratories and/or agencies for the inspection and tests of supplies, materials or equipment, where required by the Contract Documents, shall be subject to the approval of the Owner. Satisfactory documentary evidence that the material has passed the required inspection and tests must be furnished to the Owner by the Contractor prior to the incorporation of the material into the Project.
7. Rejected work shall be removed from the site of the Project.
20. **PROTECTION OF WORK AND PROPERTY.** The Contractor shall at all times safely guard the Owner's property from injury or loss in connection with this Contract. The Contractor shall at all times safely guard and protect its own Work; and any adjacent property or work provided by others thereupon, from damage. The Contractor shall replace or make good any such damage, loss or injury unless such be caused directly by errors contained in the Contract Documents or by the Owner or Owner's Representatives. All passageways, guard fences, lights or other facilities required for protection by local authorities, local conditions, or by local, state or federal law or regulation must be provided and properly maintained. In carrying out the foregoing obligations, the Contractor shall comply with the Project Safety Standards set forth in Section 01 35 23.
21. **PROTECTION OF PERSONS AND PROPERTY:** In the event of a situation that threatens loss or injury of property, and/or safety of life, the Contractor shall notify the Construction Manager immediately and shall comply with the Project Safety Standards set forth in Section 01 35 23. Accidents or occurrences on the Project that have or may have resulted in personal injury, property damage or death must be reported immediately, as set forth in paragraph 14 hereinabove.
22. **FINAL PAYMENT:** Within thirty (30) days after the filing of a certificate of completion and delivery of all close-out materials required by the Contract Documents, and upon approval of the Owner's Representatives, Owner shall pay to the Contractor the balance of the Contract Sum as set forth in Contractor's final payment application. All prior estimates and payments including those relating to Change Orders shall be subject to correction by this payment, referred to herein as the "Final Payment."
23. **ACCEPTANCE OF FINAL PAYMENTS CONSTITUTES RELEASE:** The acceptance by the Contractor of the Final Payment shall operate as a release to the Owner of all claims and of all liability to the Contractor for all things done or furnished in connection with this Work and for every act and neglect of the Owner and others relating to or arising out of this Work, excepting the Contractor's claim for interest upon the Final Payment, if this payment be improperly delayed. No payment, final or otherwise, shall operate to release the Contractor or its sureties from any obligations under this Contract or any bonds issued in compliance herewith.
24. **ADDITIONAL OR SUBSTITUTE BOND:** If at any time the Owner shall be or become dissatisfied with any surety or sureties then upon the Contractor's Performance Bond or Labor and Material Payment Bond provided in accordance with Contract Documents, Section 00 61 13 "Bond and Certificates," or if for any other reason such Bonds shall cease to be adequate security to the Owner, the Contractor shall within five (5) days after notice from the Owner so to do, substitute an acceptable bond in such form and sum signed by such other sureties as may be satisfactory to the Owner. The premiums on

such bond shall be paid by the Contractor. No further payments shall be deemed due nor shall be made until the new sureties shall have qualified.

25. **PLANS AND SPECIFICATIONS:** The Contractor shall keep at the site of the Work one copy of the Contract Documents and shall, at all times, give the Architect and Owner's Representatives access thereto. Anything shown on the plans or drawings and not mentioned in the specifications, or mentioned in the specifications and not shown on the plans or drawings, shall have the same effect as if shown or mentioned, respectively, in both. In case of any conflict or inconsistency between the plans/drawings and specifications, the Contractor shall notify the Construction Manager using the procedures set forth with in other Sections of these specification. Any decision or response to Request for Information ("RFI") by the Architect as to such conflict or inconsistency shall be conclusive.
26. **ADDITIONAL INSTRUCTIONS AND DETAIL DRAWINGS:** The Contractor may be furnished additional instructions and detail drawings to carry out the Work. The additional drawings and instructions thus supplied will become part of the Contract Documents. Unless the Contractor promptly objects in writing to the additional drawings due to an inconsistency or alleged change in the Work, the determination of which shall be made by the Architect, the Contractor shall carry out the Work in accordance with the additional detail drawings and instructions.
1. The Contractor and the Construction Manager will jointly prepare, with other contractors providing labor or material to the Project: (i) a schedule, fixing the dates at which special detail drawings will be required and by whom they will be made, such drawings, if any, to be furnished by the Construction Manager in accordance with said schedule, and (ii) a schedule fixing the respective dates for the submission of shop or required submittals, the beginning of manufacture, testing and installation of materials, supplies and equipment and the completion of the various parts of the Work, each such schedule to be subject to change from time to time in accordance with the progress of the Work.
27. **SUBMITTALS:** Submittals consist of shop drawings, samples and manuals. Submittals of shop drawings and samples are required to establish conformance of selected portions of the Work with the Contract Documents and are either approved by the Architect/Engineer or not approved. Regardless of such approval, the responsibility for correct dimensions, installation and performance remains with the Contractor.
1. Shop drawings include drawings, diagrams, illustrations, schedules, charts and other product data prepared to show how specific portions of the work shall be fabricated and/or installed.
  2. Samples are physical examples of materials, products or units of work.
  3. Manuals are operating or maintenance instructions relating to certain portions of the work.
  4. Submittal procedures are described in Section 01 32 19. Items for which submittals are required are listed in the various technical sections of the Project Manual in which they occur.

28. **SUBSURFACE CONDITIONS:** Should the Contractor encounter subsurface and/or latent conditions at the site materially differing from those shown on or referenced in the Contract Documents, the Contractor shall immediately give written notice to the Construction Manager of such conditions, before they are disturbed. Should the Contractor disturb such conditions prior to notifying the Construction Manager, the Contractor (or Subcontractors) shall not be entitled to an adjustment to the Contract Sum or Contract Time.
29. **CONTRACTOR'S TITLE TO MATERIALS:** No materials or supplies for the Work shall be purchased by the Contractor or by any subcontractor subject to any chattel mortgage or under a conditional sale or other agreement by which an interest is retained by the seller. The Contractor warrants that it has good title to all materials and supplies it plans to use in the Work on the Project.
30. **SUPERINTENDENCE BY CONTRACTOR:** At the site of the Work, the Contractor shall employ a full time Construction Superintendent, who shall be present any time work is being performed, and have full authority to act for the Contractor. Such Superintendent shall be reasonably acceptable to the Construction Manager. The Superintendent shall be present at all progress meetings and shall continue in its capacity as Superintendent for the duration of the Project.
31. **REPRESENTATIONS OF CONTRACTOR:** The Contractor represents and warrants that:
1. it is financially solvent and is experienced in and competent to perform the type of labor or to furnish the plant, materials, supplies or equipment, to be so performed or furnished under the Contract;
  2. it is familiar with all federal, state, and local laws, ordinances, rules and regulations, which may in any way affect the Work or those employed therein, including but not limited to, any special acts relating to the Work or to the Project of which it is a part;
  3. such temporary and permanent Work required by the Contract Documents can be satisfactorily constructed and used for the purpose for which it is intended, and that such construction will not injure any person or damage any property; and
  4. it has carefully examined the Contract Documents and the site of the Work, has confirmed all relevant dimensions, and that from its own investigations, it is satisfied as to the nature and location of the Work, the character, quality and quantity of surface and sub-surface materials likely to be encountered, the character of equipment and other facilities needed for the performance of the Work, the general and local conditions, and all other factors which may in any way affect its Work or its performance under this Contract.
32. **SEPARATE CONTRACTS:** The Owner plans to award other contracts for portions of the RSMP, which will proceed simultaneously with this Contract. The Contractor shall coordinate its operations and cooperate with those of other contractors performing work on the Project or site thereof. Cooperation will be required in the arrangement for the storage of materials and in the detailed execution of the Work. The Contractor shall remain informed of the progress and the detail work of other contractors and shall notify the Construction Manager immediately of lack of progress or defective workmanship on the

part of other contractors, where such delay or such defective workmanship will interfere with Contractor's own operations. Failure of the Contractor to keep informed of the work progressing on the site or to give notice of lack of progress or defective workmanship by others shall be construed as acceptance of the progress of work and coordination with Contractor's own Work. The Contractor shall cooperate with the Owner, Program Manager, Architect, Engineer, Construction Manager, and other Contractors on the Project, making every reasonable effort to reduce the Contract Time.

33. **PATENT RIGHTS:** The Contractor, without any additional compensation or adjustment in the Contract Sum, will pay for all patent fees or royalties required in respect of the Work or any part thereof and will fully indemnify the Owner for any loss on account of infringement of any patent rights unless, prior to using a particular process or a product of a particular manufacturer for the Work, the Contractor notifies the Owner in writing that such process or product is an infringement of a patent.
34. **SURVEYS, PERMITS AND REGULATIONS:** Unless otherwise expressly provided for in the Contract Documents, the Owner will furnish to the Contractor all surveys necessary for the execution of the Work.
1. The Contractor shall procure and pay for all permits and licenses necessary for the execution of its Work and the use of such Work when completed.
  2. The Owner or Owner's Representative will obtain the building permits or approvals required by the New York State Department of Education. The Contractor shall procure and maintain such permits, licenses, or approvals as are required to conduct its operations.
  3. The Contractor shall comply with all federal, state and local laws, ordinances, rules and regulations relating to the performance of the Work, the protection of adjacent property, and the maintenance of passageways, guard fences or other protective facilities in place or required to be in place at the site of the Project.
35. **CORRECTION OF WORK:** All labor and materials, and processes of manufacture to be incorporated in the Project shall be at all times subject to the inspection by the Architect and Construction Manager. The Architect shall be the final judge of the quality and suitability of the labor, materials, processes of manufacture, for the purposes for which they are to be used and, should they fail to meet Architect's approval, they shall be forthwith reconstructed, made good, replaced and/or corrected, as the case may be, by the Contractor at its own expense, in accordance with the Architect's direction. The Contractor shall also be responsible for any resulting costs for additional services required by the Architect/Engineer, additional third-party inspection costs required to ensure conformity to the Contract Documents, or other direct costs incurred by the Owner resulting from rejected Work, which shall be charged to the Contractor by a Change Order or Construction Change Directive. Rejected Work shall immediately be removed from the site. Acceptance of material and workmanship by the Architect and the Construction Manager shall not relieve the Contractor from its obligation to adhere to the requirements for material and workmanship set forth in the Contract Documents.
1. If in the opinion of the Architect and the Construction Manager it is undesirable to replace any defective or damaged materials or to reconstruct or correct any portion of

the Work injured or not performed in accordance with the Contract Documents, the compensation to be paid to the Contractor hereunder shall be reduced by such amount as in the judgment of the Architect and the Construction Manager will appropriately compensate the Owner.

2. Neither the acceptance of the completed work nor payment therefor shall operate to release the Contractor or its sureties from any obligations under or upon this Contract or the performance or payment bonds, or other security provided in accordance with this Contract.
36. DELIVERY OF STATEMENTS REQUIRED BY OWNER: Prior to commencement of work, or anytime during the Contractor's performance thereof, the Owner may require submission of information as in the Owner's reasonable judgment is necessary to ensure compliance with the terms of this Contract. Such information may include, but is not limited to, copies of all subcontract agreements held by any Contractor for any part of the Project work; certified payroll forms; forms required to satisfy the workforce diversity goals set forth in Section 00 43 31 of the Project Manual; Interim Lien Waivers (Section 01 29 76), and other forms or information. Neither Final Payment nor any retained percentages shall become due until the Contractor submits to the Owner's Representative: (1) an affidavit that payrolls, bills for materials and equipment, and other indebtedness connected with the Work for which the Owner or the Owner's property might be responsible or encumbered (less amounts withheld by Owner) have been paid or otherwise satisfied; (2) a certificate that insurance required by the Contract Documents to remain in force after final payment is currently in effect and will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to the Owner; (3) a written statement that the Contractor knows or no substantial reasons that the insurance will not be renewable to cover the period required by the Contract Documents; (4) consent of surety, if any, to final payment; and (5) if required by the Owner, other data establishing payment or satisfaction of obligations, such as receipts, releases and waivers of liens, claims, security interests or encumbrances arising out of the Contract, to the extent and in such form as may be designated by the Owner. If a Subcontractor refuses to furnish a release or waiver required by the Owner, the Contractor may furnish a bond satisfactory to Owner to indemnify the Owner against such lien. If such lien remains unsatisfied after payments are made, the Contractor shall refund to the Owner all money that the Owner may be compelled to pay discharging such lien, including all costs and reasonable attorneys' fees.
37. OWNER'S RIGHT TO WITHHOLD PAYMENTS: The Owner may withhold from the Contractor so much of any approved payments due as may in the judgment of the Owner be necessary so as to:
1. assure the payment of just claims then due and unpaid of any persons supplying labor or materials for the Work;
  2. protect the Owner from loss due to defective work not remedied;
  3. protect the Owner from loss due to delay or delays in performance of Work; or
  4. protect the Owner from loss due to injury to persons or damage to the work or property of other contractors, subcontractors, or others caused by the act or neglect of the Contractor of any of its Subcontractors. The Owner shall have the right to apply any



such amounts so withheld in such manner as the Owner may deem proper to satisfy such claims or to secure such protection. Such application of money shall be deemed payments for the account of the Contractor.

5. ensure timely and complete submission of all forms and information required by this Contract.
38. **CONTRACTOR'S OBLIGATION TO COMPLETE CONTRACT:** The Contractor shall start and complete this Contract on the dates specified in the Construction Schedule of Section 00 43 83, with any permitted adjustments thereto as are made in accordance with these General Conditions. Failure to complete Work in such time period shall entitle the Owner to damages as provided herein.
39. **OWNER'S RIGHT TO TERMINATE CONTRACT FOR CAUSE OR STOP WORK:** Subject to the terms of any Performance Bond and Labor or Material Payment Bond provided by Contractor under Section 00 61 13 \*("Bonds and Certificates"), once accepted by the Owner, the Owner may exercise any of the following rights upon providing such notice as is set forth herein:
  1. If the Contractor shall refuse or fail, after being notified by the Construction Manager, to supply enough properly skilled workmen or proper materials; or
  2. the Contractor shall refuse or fail to prosecute the Work or any part thereof with such diligence as will insure its completion within the period herein specified (or any duly authorized extension thereof) or shall fail to complete the Work within said period; or
  3. the Contractor shall fail to make prompt payment to persons supplying labor or materials for the Work; or
  4. the Contractor shall fail or refuse to regard laws, ordinances, rules, or regulations of any local, state or federal governmental authority or administrative body having jurisdiction over the Project or Work, or the instructions of the Owner's Representatives, or otherwise be guilty of a substantial violation of any provision of this Contract;
  5. when any of the above reasons exist, the Owner, without prejudice to any other rights or remedy it may have, may by three days' written notice mailed or delivered to the Contractor, exclude the Contractor from the Project site and take possession of all materials, equipment, tools, and machinery thereupon owned by Contractor and provide any such Work or part thereof, and deduct the cost thereof from any money then due or thereafter to become due to the Contractor under this Contract, or the Owner may by seven days' written notice mailed or delivered to the Contractor, and any notice required to the Contractor's Surety by the terms of the Contractor's Performance Bond, if any, terminate the employment of the Contractor and his right to proceed, either as to the entire Work or (at the option of the Owner) as to any portion thereof as to which delay shall have occurred and may take possession of the Work and complete the Work as the Owner may deem expedient.
  6. In case of termination for any reasons set forth in this Section, the Contractor shall not be entitled to receive any further payment until the Work is finished. If the unpaid

balance of the compensation to be paid the Contractor hereunder shall exceed the expense of so completing the work (including compensation for additional managerial administrative, inspection services and any damages resulting from a Contractor-caused delay), such excess shall be paid to the Contractor. If such expense shall exceed such unpaid balance, the Contractor and/or its sureties shall be liable to the Owner for such excess. If the right of the Contractor to proceed with the Work is so terminated, the Owner may take possession of and utilize in completing the Work such materials, appliances, supplies, plant and equipment as may be on the site of the Work and necessary therefor.

40. OWNER'S RIGHT TO TERMINATE OR SUSPEND CONTRACT FOR CONVENIENCE:

1. The Owner may, with or without cause, order the Contractor in writing to suspend, delay or interrupt its Work in whole or part for such period of time as the Owner may determine, provided that should such period of delay, suspension or interruption exceed ninety days, the Contractor may terminate Contract in accordance with Section 41 herein. No adjustment to the Contract Sum shall be given for any delay, suspension or interruption which would have arisen by another cause for which the Contractor was responsible. Any adjustment to the Contract Sum or time for completion of Work arising from the Owner's suspension of the Work shall be made in accordance with Section 4 herein, "Changes." The Contractor shall not be entitled to damages for lost profits or earning opportunity, or for consequential damages arising from such suspension or delay.
2. The Owner may at any time terminate the Contract for the Owner's convenience and without cause. Upon receipt of written notice from Owner of such termination, the Contractor shall (i) cease operations as directed by the Owner in the notice; (ii) take actions necessary, or that the Owner may direct, for protection and preservation of the Work; and (iii) except for Work to be performed prior to the effective date of termination of the Contract, terminate all existing subcontracts, purchase orders, and like commitments, and enter into no further commitments with respect to ordering or supplying labor, material, machinery, equipment, supplies or fixtures for performance of the Work. In the event of such termination for convenience, the Contractor shall be entitled to receive payment for Work executed and costs incurred by reason of such termination, with reasonable overhead and profit on such Work executed. However, Contractor shall not be entitled to receive overhead or profit on any Work not executed, nor shall termination or suspension under this paragraph entitle the Contractor to any other compensation or claim for damages including, without limitation, consequential damages, lost opportunity costs, impact costs, or similar claims.

41. CONTRACTOR'S RIGHT TO STOP WORK OR TERMINATE CONTRACT: If the Work shall be stopped by a suspension by the Owner as set forth in Section 40, or by order of a court of law or any other legal authority having jurisdiction over the Project or parties to the Contract for a period of three months, without act or fault of the Contractor or any of his agents, servants, employees, or Subcontractors, the Contractor may, upon ten days' written notice to the Owner, discontinue its performance of the Work and/or terminate the Contract, in which event the liability of the Owner to the Contractor shall be determined as provided in the paragraphs immediately preceding, except that the Contractor shall not be

obligated to pay to the Owner any excess of the expense of completing the Work over the unpaid balance of the compensation to be paid the Contractor hereunder.

42. **USES OF PREMISES AND REMOVAL OF DEBRIS:** The Contractor expressly undertakes at its own expense to:
1. take every precaution against injuries to persons or damages to property;
  2. store its apparatus, materials, supplies, and equipment in such orderly fashion at the Project site as will not unduly interfere with the progress of its Work or the work of any other contractor;
  3. to place upon the Work or any part thereof only such loads as are consistent with the safety of that portion of the Work;
  4. clean up all refuse, rubbish, scrap materials, and debris caused by its operations, to the end that at all times the site of the Work shall present a neat, orderly, and workman-like appearance;
  5. remove all surplus material, temporary structures, including foundations thereof, plant of any description, and debris of every nature resulting from its operation and to put the site in a neat orderly condition prior to issuance of final payment; and
  6. effect all cutting, fitting, or patching of its Work required to make the same conform to the Contract Documents, and, except with the consent of the Construction Manager, not to cut or otherwise alter the work of any other contractor.
43. **WEATHER CONDITIONS:** In the event of inclement weather or whenever the Construction Manager shall direct a temporary delay in the Work, the Contractor will and will cause its Subcontractors to protect carefully all Work, or materials or implements used to perform same, against damage or injury from the weather. If, in the opinion of the Construction Manager any Work or materials shall have been damaged or injured by reason of failure on the part of the Contractor or of any Subcontractor to provide adequate protections, such Work and materials shall be removed and replaced at the expense of the Contractor. This paragraph shall not affect the Contractor's obligations with regard to acquiring insurance as specified in Section 00 73 16.
44. **ARCHITECT DISCRETION:** The Contractor shall employ no plant, equipment, materials, methods or laborers to which the Architect reasonably objects, and shall remove no plant, materials, equipment or other facilities from the site of the Work without Architect's permission. Upon request, the Architect through the Construction Manager shall confirm in writing any oral order, direction, requirement, or determination.
45. **OWNER'S REPRESENTATIVES' DISCRETION:** The discretion of the Owner's Representatives shall not be limited by the enumeration herein or elsewhere in the Contract Documents of particular instances in which the opinion, judgment, discretion or determination of such parties is permitted or required.
46. **PROVISIONS REQUIRED BY LAW DEEMED INSERTED:** Each and every provision of law and clause required by law to be inserted in this Contract shall be deemed to be

inserted herein and the Contract shall be read and enforced as though it were included herein, and if through mistake or otherwise any such provision is not inserted or is not correctly inserted, then upon the application of either party, the Contract shall forthwith be physically amended to make such insertion. Those terms and provisions set forth in Part 5 of Title 29 of the U.S. Code of Federal Regulations, attached to these General Conditions as "Attachment A," are expressly incorporated into the Contract.

47. **SUBLETTING, SUCCESSOR AND ASSIGNS:** The Contractor shall not sublet or assign any part of the Work under this Contract, nor assign any monies due hereunder, without first obtaining the written consent of the Owner. This Contract shall inure to the benefit of and shall be binding upon the parties hereto and upon their respective successors and assigns; but neither party hereto shall assign or transfer its interest herein in whole or in part without the consent of the other.
48. **GUARANTEE:**
1. All Work to be done under this Contract, including all work required by authorized Change Orders, shall be guaranteed for a period of **one year**, unless stated otherwise in any specialty warranty required by the Contract Documents, from the date of Final Payment, exclusive of reserves or retained percentages, to serve the purpose for which it is made or constructed, and forthwith on written notice the Contractor must make any repairs, replacement or service required by the Owner without extra charge when such repairs, replacement or service are made necessary, in the judgment of the Architect and the Construction Manager, by reason of any faulty or defective workmanship or materials.
  2. Neither Final Payment nor any provisions in the Contract Documents nor partial or entire occupancy of Project site by the Owner shall constitute acceptance of Work not performed in accordance with the Contract Documents or relieve the Contractor of liability in respect to any express warranties or responsibility for faulty materials or workmanship. Work not conforming to these requirements, including substitutions not properly approved and authorized may be considered defective. Upon written notice from the Construction Manager, the Contractor shall remedy any faults or defects in the Work, and pay for any damage to other Work resulting therefrom, which shall appear within a period of one year, unless a longer period is specified in the Contract Documents, from date of Final Payment.
  3. Except as otherwise noted below, the Contractor agrees to provide for all necessary repairs, replacement or service within three (3) days after receipt of notification of such faults or defects from the Construction Manager. The Contractor further agrees, at its own expense, to provide all necessary repairs, replacement or service within twenty four (24) hours after receipt of notification from the Construction Manager that Contractor caused disruption to any of critical systems or services, including but not limited to the following: Telephone Systems, Direct Digital Control Systems, Elevators, Fire Suppression; Fire Alarm; Security Alarm, Public Address System, Heating/Ventilating/Air Conditioning Systems, Boilers, Roofing (leaks), and any other defects that would in the opinion of the Owner's Representatives or Architect, or by operation of law or regulation, interfere with the standard operation of the building, result in a threat to the health and safety of the occupants, cause further non-repairable damage to property, or specifically requiring immediate repair, replacement

or service elsewhere in the Contract Documents. If the Contractor does not respond within the allocated timeframe, the Owner may, without waiving any rights, remedies or implied warranties, provide the repairs, replacement or services or to hire third parties to do so, and to charge the Contractor for the cost thereof.

49. **LIQUIDATED DAMAGES:** It is critical to the Owner's operations that the Contractor achieve Substantial Completion in the time set forth in Section 00 43 83 "Schedules and Milestones," adjusting for approved extensions of Contract Time (if any). The Owner's losses resulting from the Contractor failure to achieve on time Substantial Completion are difficult to ascertain. The Owner may charge liquidated damages in the amounts shown below depending on the Contract Sum, after adjusting for any increases by authorized Change Orders. The below schedule of liquidated damages are reasonable approximations of Owner's losses and are not intended as penalties.

<b>Contract Sum</b>		<b>Liquidated Damages Per Calendar Day</b>
\$0	-	\$499,999
\$500,000	-	\$15,000,000
Over \$15,000,000		

Contracts over \$15,000,000 shall be assessed liquidated damages at the rate of \$10,000 per day.

50. **RECORD DOCUMENTS & AUDITS:** Refer to Close-Out Procedures at Section 01 77 00.
51. **GOVERNING LAW:** The Contract shall be governed by the laws of the State of New York and the laws and regulations of the United States, where applicable.
52. **CLAIMS AND DISPUTES:**
1. **CLAIMS:** A "Claim" is a demand or assertion that payment, money, or other relief is due with respect to the terms of the Contract, as well as any other disputes arising between the Owner and the Contractor out of or relating to the Contract.
  2. **NOTICE OF CLAIMS:** Claims by the Contractor must be initiated by written notice to the Owner's Representative. The Architect shall serve as the initial decision maker with respect to such Claim. Notice of Claims must be given in this manner within 21 days after the occurrence giving rise to a Claim, or within 21 days after the claimant first recognizes or should have recognized the condition giving rise to the Claim, whichever is later. The Architect shall render an initial decision within thirty days of submission of the Claim, or after submission by the parties of any supporting documentation requested in connection therewith.
  3. **CONTINUING PERFORMANCE:** Pending final resolution of a Claim, except as otherwise agreed in writing or upon termination or suspension of the Contract as provided for herein, the Contractor shall proceed diligently with its Work and the Owner shall make payments in accordance with the Contract Documents. The Architect/Engineer will prepare change orders in accordance with the Architect's decision.

4. **MEDIATION:** If either party disagrees with the decision reached by the Architect with respect to any given Claim, the parties may by mutual assent agree to attend a non-binding mediated settlement conference before a neutral of their mutual selection, with each party contributing 50% of the neutral's fee. Absent agreement to conduct mediation or in the event that mediation fails to settle the Claim or dispute, either party may upon ten (10) days' written notice to the other party commence an action in a court of appropriate jurisdiction.
  5. **VENUE:** Venue for mediation or for litigation any Claims or other disputes arising under this Contract shall be in the City of Rochester, County of Monroe, State of New York and must be brought within the statutory limitations period, or such shorter period as is prescribed herein, and before a court of competent jurisdiction to hear such Claim or dispute.
  6. **LABOR HARMONY:** The Contractor shall be responsible for labor peace on the Project and shall at all times exert its best efforts and judgement as an experienced contractor to adopt and implement policies and practices designed to avoid work stoppages, slowdowns, disputes or strikes where reasonably possible and practical under the circumstances and shall, at all times, maintain Project wide labor harmony. The Contractor shall be liable to the Owner for all damages suffered by the Owner occurring as a result of work stoppages, slowdowns, disputes or strikes except as specifically provided for elsewhere in these General Conditions.
53. **APPRENTICESHIP REQUIREMENTS:** The Phase 2 legislation also requires that Contractors and Subcontractors with construction contracts in excess of one million dollars (\$1,000,000) "shall participate in apprentice training programs in the trades it employs that: have been approved for not less than three years by the state department of labor; have graduated at least one apprentice in the last 3 years; have at least one apprentice currently enrolled in such apprentice training program; and have demonstrated that the program has made significant efforts to attract and retain minority apprentices."

## ATTACHMENT A

### Part 5 of Title 29 of the U.S. Code of Federal Regulations

#### § 5.5 Contract provisions and related matters.

(a) The Agency head shall cause or require the contracting officer to insert in full in any contract in excess of \$2,000 which is entered into for the actual construction, alteration and/or repair, including painting and decorating, of a public building or public work, or building or work financed in whole or in part from Federal funds or in accordance with guarantees of a Federal agency or financed from funds obtained by pledge of any contract of a Federal agency to make a loan, grant or annual contribution (except where a different meaning is expressly indicated), and which is subject to the labor standards provisions of any of the acts listed in §5.1, the following clauses (or any modifications thereof to meet the particular needs of the agency, *Provided*, That such modifications are first approved by the Department of Labor):

(1) *Minimum wages.* (i) All laborers and mechanics employed or working upon the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project), will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR part 3)), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics.

Contributions made or costs reasonably anticipated for bona fide fringe benefits under section 1(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of paragraph (a)(1)(iv) of this section; also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period. Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in §5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: *Provided*, That the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under paragraph (a)(1)(ii) of this section) and the Davis-Bacon poster (WH-1321) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible place where it can be easily seen by the workers.

(ii)(A) The contracting officer shall require that any class of laborers or mechanics, including helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. The contracting officer shall approve an additional classification and wage rate and fringe benefits therefore only when the following criteria have been met:

( 1 ) The work to be performed by the classification requested is not performed by a classification in the wage determination; and

( 2 ) The classification is utilized in the area by the construction industry; and

( 3 ) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

(B) If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and the contracting officer agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by the contracting officer to the Administrator of the Wage and Hour Division, Employment Standards Administration, U.S. Department of Labor, Washington, DC 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise the contracting officer or will notify the contracting officer within the 30-day period that additional time is necessary.

(C) In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and the contracting officer do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), the contracting officer shall refer the questions, including the views of all interested parties and the recommendation of the contracting officer, to the Administrator for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise the contracting officer or will notify the contracting officer within the 30-day period that additional time is necessary.

(D) The wage rate (including fringe benefits where appropriate) determined pursuant to paragraphs (a)(1)(ii) (B) or (C) of this section, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.

(iii) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.

(iv) If the contractor does not make payments to a trustee or other third person, the contractor may consider as part of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program, *Provided*, That the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.

(2) *Withholding*. The (write in name of Federal Agency or the loan or grant recipient) shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld from the contractor under this contract or any other Federal contract with the same prime contractor, or any other federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor, so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics,



including apprentices, trainees, and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee, or helper, employed or working on the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project), all or part of the wages required by the contract, the (Agency) may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased.

(3) *Payrolls and basic records.* (i) Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work (or under the United States Housing Act of 1937, or under the Housing Act of 1949, in the construction or development of the project). Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section 1(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the Secretary of Labor has found under 29 CFR 5.5(a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in section 1(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.

(ii)(A) The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to the (write in name of appropriate federal agency) if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit the payrolls to the applicant, sponsor, or owner, as the case may be, for transmission to the (write in name of agency). The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i), except that full social security numbers and home addresses shall not be included on weekly transmittals. Instead the payrolls shall only need to include an individually identifying number for each employee ( e.g. , the last four digits of the employee's social security number). The required weekly payroll information may be submitted in any form desired. Optional Form WH-347 is available for this purpose from the Wage and Hour Division Web site at <http://www.dol.gov/esa/whd/forms/wh347instr.htm> or its successor site. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. Contractors and subcontractors shall maintain the full social security number and current address of each covered worker, and shall provide them upon request to the (write in name of appropriate federal agency) if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit them to the applicant, sponsor, or owner, as the case may be, for transmission to the (write in name of agency), the contractor, or the Wage and Hour Division of the Department of Labor for purposes of an investigation or audit of compliance with prevailing wage requirements. It is not a violation of this section for a prime contractor to require a subcontractor to provide addresses and social security numbers to the prime contractor for its

own records, without weekly submission to the sponsoring government agency (or the applicant, sponsor, or owner).

(B) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

( 1 ) That the payroll for the payroll period contains the information required to be provided under §5.5 (a)(3)(ii) of Regulations, 29 CFR part 5, the appropriate information is being maintained under §5.5 (a)(3)(i) of Regulations, 29 CFR part 5, and that such information is correct and complete;

( 2 ) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in Regulations, 29 CFR part 3;

( 3 ) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.

(C) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by paragraph (a)(3)(ii)(B) of this section.

(D) The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution under section 1001 of title 18 and section 231 of title 31 of the United States Code.

(iii) The contractor or subcontractor shall make the records required under paragraph (a)(3)(i) of this section available for inspection, copying, or transcription by authorized representatives of the (write the name of the agency) or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, the Federal agency may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

(4) *Apprentices and trainees* —(i) *Apprentices*. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an

apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(ii) *Trainees.* Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(iii) *Equal employment opportunity.* The utilization of apprentices, trainees and journeymen under this part shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR part 30.

(5) *Compliance with Copeland Act requirements.* The contractor shall comply with the requirements of 29 CFR part 3, which are incorporated by reference in this contract.

(6) *Subcontracts.* The contractor or subcontractor shall insert in any subcontracts the clauses contained in 29 CFR 5.5(a)(1) through (10) and such other clauses as the (write in the name of the Federal agency) may by appropriate instructions require, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all the contract clauses in 29 CFR 5.5.

(7) *Contract termination: debarment.* A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract, and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.

(8) *Compliance with Davis-Bacon and Related Act requirements.* All rulings and interpretations of the Davis-Bacon and Related Acts contained in 29 CFR parts 1, 3, and 5 are herein incorporated by reference in this contract.

(9) *Disputes concerning labor standards.* Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and the contracting agency, the U.S. Department of Labor, or the employees or their representatives.

(10) *Certification of eligibility.* (i) By entering into this contract, the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

(ii) No part of this contract shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

(iii) The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001.

(b) *Contract Work Hours and Safety Standards Act.* The Agency Head shall cause or require the contracting officer to insert the following clauses set forth in paragraphs (b)(1), (2), (3), and (4) of this section in full in any contract in an amount in excess of \$100,000 and subject to the overtime provisions of the Contract Work Hours and Safety Standards Act. These clauses shall be inserted in addition to the clauses required by §5.5(a) or 4.6 of part 4 of this title. As used in this paragraph, the terms *laborers* and *mechanics* include watchmen and guards.

(1) *Overtime requirements.* No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which he or she is employed on such work to work in excess of forty hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of forty hours in such workweek.

(2) *Violation; liability for unpaid wages; liquidated damages.* In the event of any violation of the clause set forth in paragraph (b)(1) of this section the contractor and any subcontractor responsible therefor shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in paragraph (b)(1) of this section, in the sum of \$10 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of forty hours without payment of the overtime wages required by the clause set forth in paragraph (b)(1) of this section.

(3) *Withholding for unpaid wages and liquidated damages.* The (write in the name of the Federal agency or the loan or grant recipient) shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any moneys payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contractor, or any other federally-assisted contract subject to the Contract Work Hours and Safety Standards Act, which is held by the same prime contractor, such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in paragraph (b)(2) of this section.

(4) *Subcontracts.* The contractor or subcontractor shall insert in any subcontracts the clauses set forth in paragraph (b)(1) through (4) of this section and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in paragraphs (b)(1) through (4) of this section.

(c) In addition to the clauses contained in paragraph (b), in any contract subject only to the Contract Work Hours and Safety Standards Act and not to any of the other statutes cited in §5.1, the Agency Head shall cause or require the contracting officer to insert a clause requiring that the contractor or subcontractor shall maintain payrolls and basic payroll records during the course of the work and shall preserve them for a period of three years from the completion of the contract for all laborers and mechanics, including guards and watchmen, working on the contract. Such records shall contain the name and address of each such employee, social security number, correct classifications, hourly rates of wages paid, daily and weekly number of hours worked, deductions made, and actual wages paid. Further, the Agency Head shall cause or require the contracting officer to insert in any such contract a clause providing that the records to be maintained under this paragraph shall be made available by the contractor or subcontractor for inspection, copying, or transcription by authorized representatives of the (write the name of agency) and the Department of Labor, and the contractor or subcontractor will permit such representatives to interview employees during working hours on the job.

RCSD James Monroe High School Phase 2B  
S.E.D. # 26-16-00-01-0-107-030  
S.E.D. DWT # 26-16-00-01-7-999-019

CJS ARCHITECTS  
Project # 1625  
June 30, 2017

END OF SECTION 00 72 16

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“Every child is a work of art. Create a masterpiece.”

# APPLICATION FOR RSMP LOAN FUND (SHORT-FORM)

## BUSINESS CONTACT INFORMATION

Name of Company:		EIN #:	
Name of Owner:		Title:	
Phone:	Fax:	E-mail:	
Current Business Address:			
City:		State:	ZIP Code:
Date Business Commenced:		EBE Certification Status:	
Sole Proprietorship:	Partnership:	Corporation:	Other:

## LOAN REQUEST

Purpose of Loan:		
Date of Request:	Amount of Request:	Approved Amount:

## BUSINESS AND CREDIT INFORMATION

Bank Name:		
Bank Address:		Phone:
City:		State: ZIP Code:
Type of Account:	Account Number:	
Savings		
Checking		
Other		

## BUSINESS/TRADE REFERENCES

Company Name:		
Address:		
City:		State: ZIP Code:
Phone:	Fax:	E-mail:
Type of Account:		
Company Name:		
Address:		
City:		State: ZIP Code:
Phone:	Fax:	E-mail:
Type of Account:		
Company Name:		
Address:		
City:		State: ZIP Code:
Phone:	Fax:	E-mail:
Type of Account:		



REQUIRED LOAN APPLICATION DOCUMENTS

- 1. Copy of the executed subcontract between the Applicant and Prime contractor.
2. Purpose and use of funds documentation (e.g. lease agreements, purchase invoice, payroll log)
3. List of suppliers
4. Liability insurance
5. Workers compensation insurance
6. Financial statements and/or declaration by Applicant that other personal resources are not available

FINANCIAL AND INCOME STATEMENT SUMMARY

Total Assets: \$ \_\_\_\_\_ Total Income: \$ \_\_\_\_\_
Total Liabilities: \$ \_\_\_\_\_ Total Annual Expenses: \$ \_\_\_\_\_
Net Worth: \$ \_\_\_\_\_ Net Annual Cash Flow: \$ \_\_\_\_\_

REPRESENTATIONS, AGREEMENTS AND CERTIFICATION OF APPLICANT

Applicant represents and agrees as follows:

- Proceeds from the RSMP Revolving Loan Program (RLP) fund will only be used for the labor and materials to complete RSMP work.
• If either Applicant or the RSMP determines that the loan proceeds will not be used for the purposes described herein, Applicant will immediately repay the loan in full.
• The RSMP shall be entitled to confirm or verify any of the information contained in this Application from any source named herein or other person or entity having knowledge of the same.
• The Application shall be subject to the Program Criteria and Procedures.
• This Application, and any loan from the RSMP to Applicant, shall be subject to any loan criteria and policies in effect regarding the RLP.
• The RSMP has made no representation or warranty with respect to the Applicant's compliance with applicable laws and regulations, or the ability of Applicant to obtain any necessary governmental approvals and permits.

Applicant certifies that all information in this Application, and all information furnished in support of this Application, is true and correct and is given for the sole purpose of obtaining a bridge (gap) loan from the RLP. Applicant gives permission for any authorized RJSCB Representatives, the ICO, or RSMP Staff to verify any statement made by Applicant.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

FOR RSMP USE ONLY

Table with 3 columns for 'Approved By' (Name, Title, Date) for different roles: RJSCB Finance Committee Member, Executive Director or Designee, and RJSCB Independent Compliance Officer.

Application #: \_\_\_\_\_ Application Date: \_\_\_\_\_ Approved:  Denied:



January 2017

Dear RSMP Loan Applicant,

The RJSCB, through its many endeavors, continues to work arduously with the City and the School District to elevate the quality of life for Rochester residents, students, businesses, and Eligible Business Enterprise (EBE) participants in its multi-year/multi-phase School Facilities Modernization Program. The program supports the RJSCB's effort to remove barriers and promote business growth in the City of Rochester.

Attached is a Revolving Loan Program (RLP) application that is structured to provide assistance to RSMP Subcontractors with working capital for job related payroll, supplies, and job related machinery and equipment costs. This short form application is intended to make the loan process easy to implement and navigate. This application includes a procedure with all requirements necessary to apply for a loan.

We encourage applicants to work closely with the RJSCB's Executive Director, RSMP staff and the ICO during the loan process to make the program a success for eligible loan applicants as well as the RSMP.

Thank you for your interest in the Revolving Loan Program ("the RLP") offered by the Rochester Schools Modernization Program ("the RSMP").

Sincerely,

---

RJSCB Chair

---

RJSCB Executive Director

**REVOLVING LOAN FUND PROCEDURE**  
**FOR THE ROCHESTER SCHOOLS MODERNIZATION PROGRAM**

**PURPOSE:**

The Rochester Joint Schools Construction Board (“RJSCB”) wishes to establish a Revolving Loan Program (“RLP”) to provide financial assistance to eligible Contractors/Subcontractors who perform work, or provide materials in connection with Phase 2 of the Rochester Schools Modernization Program (“RSMP”). The Program Manager will contribute \$100,000 as “seed” money into this Revolving Loan Fund (“Fund”) for the RLP. In order to assist as many small businesses as possible, the RLP will need additional funds from “strategic partners” to support the program. “Strategic Partners,” such as financial institutions, private businesses, and philanthropic foundations, include those with a vested or general interest in seeing small businesses succeed. All applicants for loan from the RLP shall be subject to the loan process set forth in this document. Loans are subject to discretionary approval of a loan committee, qualifications of the borrower, and availability of funds.

**ELIGIBILITY, ROLES, PROCESS**

**Revolving Loan Program Committee**

The RLP Committee (“Loan Committee”) will be established to review the loan applications and will consist of four members:

- One RJSCB Finance Committee Member
- RSMP Executive Director (“Executive Director”) or Designee of the RJSCB
- Independent Compliance Officer (ICO)
- One Rochester Economic Development Corporation (REDCO) Board Member

The Loan Committee will approve or decline completed loan applications within three (3) business days following review.

**Loan Administration**

The Program Manager or its designee will assist the Loan Committee in administering the RLP by:

- Processing loan application and payments;
- Answering inquiries from applicants or borrowers; and
- Providing a monthly report to RLP Committee and an annual report to the RJSCB.

**Eligibility**

Applications will be provided only to:

a) Phase II Subcontractors

and

b) Business Opportunities Program Participants who:

- Are enrolled and active members of the Instructional series (Regular or sufficient attendance) or hold a Certificate of Completion

or

- Are enrolled as a member in the Mentor-Protégé Program based on a prime/subcontractor relationship or hold a Certificate of Completion

### **Application Process**

1. Applicant submits a completed application requesting a loan of up to \$10,000.

2. Application is reviewed by the Loan Committee to confirm that all eligibility requirements of the RLP have been met.

3. Notification:

- Approved Application – The Committee sends official commitment letter outlining method of disbursement and repayment terms.
- Declined Application – The Committee sends official declination letter stating rationale for decision.

### **Loan Authorization and Issuance**

The Executive Director, after receiving an approved application from the Committee, will issue a Loan Voucher authorizing the release of a loan check to the applicant. This Loan Voucher will be signed by a Committee member and the Executive Director. The Loan Voucher will include the following: the name of the Prime, the name of the loan recipient, the exact amount and the payee for the loan check, the date the loan check is required, the project(s) the applicant is working on, the total amount of the Prime contract, the nature of the subcontract (scope of work), and the expected repayment time frame (not to exceed ninety (90) days).

### **Security and Repayment of the Loan**

The RJSCB Trustee (US Bank National Association) will be directed to create and issue two separate checks at the time the next monthly payment to the Prime contractor is processed encompassing the work performed by the subcontractor related to the work covered by this loan. A Payment Voucher will be initiated and signed by the individual designated by the Executive Director or the Board's designate to authorize the split payment. The Payment Voucher will include: the name of the Prime

contractor, the name of the subcontractor, the exact amount of the loan being repaid by the split payment.

Program Manager will also notify the Prime contractor and the Construction Manager of the split payment. One check from the Trustee will be issued directly to the Prime contractor for all items not related to the loan provided to the subcontractor (this may include some portion of payment to the subcontractor not associated with the loan amount which will be paid to the subcontractor by the Prime). A second, two-party check will be issued by the Trustee for the amount of the Loan taken by the subcontractor. This dual-party check will be sent directly to the Program office and must be signed by the Prime and the subcontractor prior to deposit at the financial institution/strategic partner.

The financial institution/strategic partner will provide the Executive Director and the Program Manager with a monthly report that will indicate the amount of money remaining in the fund, all disbursements to applicants made from the fund, all receipts of payments credited to each subcontractor, any fees that the financial institution/strategic partner have levied against the fund, and any outstanding loans.

#### **External Assistance:**

The RLP Committee will work with the strategic partner in preparing the loan application and necessary documentation to streamline the loan process. Costs associated with application and/or administration fees by the Strategic Partner will be drawn from the Fund.

The RLP Loan Committee may waive requirements, or make exceptions to the foregoing criteria and procedures, with a finding that the goals of this program will be furthered by such waiver or exception. The Executive Director will prepare a written statement regarding any waiver or exception and shall maintain such waiver or exception in the RJSCB minutes and in the loan file.

Applicants may be asked to acknowledge the Strategic Partner's contributions or assistance in printed materials describing the program, including but not limited to: 1) brochures, flyers, printed materials and signage; 2) interviews with press organizations; 3) descriptions of RSMP projects in newspapers, mass emails, advertisements, and case studies; 4) on websites in which the RSMP and the RLP are discussed or described.

# DRAFT AIA® Document G732™ - 2009

## Application and Certificate for Payment, Construction Manager as Adviser Edition

TO OWNER:	PROJECT:	APPLICATION NO:	DISTRIBUTION TO:
			OWNER
		PERIOD TO:	CONSTRUCTION MANAGER
			ARCHITECT
FROM CONTRACTOR:	VIA CONSTRUCTION MANAGER:	CONTRACT DATE:	CONTRACTOR
			FIELD
	VIA ARCHITECT:	PROJECT NOS:	

CONTRACT FOR:

### CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. AIA Document G703™, Continuation Sheet, is attached.

1. ORIGINAL CONTRACT SUM.....	\$0.00
2. NET CHANGES IN THE WORK.....	\$0.00
3. CONTRACT SUM TO DATE (Line 1 ± 2) .....	\$0.00
4. TOTAL COMPLETED AND STORED TO DATE (Column G on G703) .....	\$0.00
5. RETAINAGE:	
a. 0 % of Completed Work	
(Column D + E on G703: \$0.00 ) =	\$0.00
b. 0 % of Stored Material	
(Column F on G703: \$0.00 ) =	\$0.00
Total Retainage (Lines 5a + 5b, or Total in Column I on G703) .....	\$0.00
6. TOTAL EARNED LESS RETAINAGE.....	\$0.00
(Line 4 minus Line 5 Total)	
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT.....	\$0.00
(Line 6 from prior Certificate)	
8. CURRENT PAYMENT DUE.....	\$0.00
9. BALANCE TO FINISH, INCLUDING RETAINAGE	
(Line 3 minus Line 6)	\$0.00

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: \_\_\_\_\_ Date: \_\_\_\_\_

By: \_\_\_\_\_ State of: \_\_\_\_\_ County of: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public: \_\_\_\_\_ My Commission expires: \_\_\_\_\_

### CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on evaluations of the Work and the data comprising this application, the Construction Manager and Architect certify to the Owner that to the best of their knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$0.00

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

CONSTRUCTION MANAGER: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECT: (NOTE: If Multiple Prime Contractors are responsible for performing portions of the Project, the Architect's Certification is not required.)

By: \_\_\_\_\_ Date: \_\_\_\_\_

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

SUMMARY OF CHANGES IN THE WORK	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$0.00	\$0.00
Total approved this month including Construction Change Directives	\$0.00	\$0.00
TOTALS	\$0.00	\$0.00
NET CHANGES IN THE WORK		\$0.00

# DRAFT AIA® Document G703™ - 1992

## Continuation Sheet

AIA Document, G702™-1992, Application and Certification for Payment, or G736™-2009, Project Application and Project Certificate for Payment, Construction Manager as Adviser Edition, containing Contractor's signed certification is attached.

In tabulations below, amounts are in US dollars.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO:	001
APPLICATION DATE:	
PERIOD TO:	
ARCHITECT'S PROJECT NO:	13-2272

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G ÷ C)		
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
		0.00	0.00	0.00	0.00	0.00	0.00%	0.00	0.00
	<b>GRAND TOTAL</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>	<b>0.00</b>	<b>0.00</b>



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## **SECTION 01 50 00 TEMPORARY CONSTRUCTION**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Electricity/Lighting.
- B. Heating, Ventilating and Air Conditioning.
- C. Telephone Service.
- D. Water.
- E. Sanitary Facilities.
- F. Barriers.
- G. Enclosures.
- H. Protection of Installed Work.
- I. Security.
- J. Field Offices and Sheds.

### **PART 2 - PRODUCTS**

Not Used

### **PART 3 - EXECUTION**

#### 3.01 Electricity/Lighting

- A. The Electric Contractor (Contract #3) shall temporarily provide the service required for construction operations to power distribution panel boxes located on the project site.
- B. The Electric Contractor (Contract #3) shall extend the service and lighting by means of branch wiring as required by the Construction Manager.
- C. Costs for usage will be burdened by the Owner.
- D. From time to time it will be necessary to relocate/eliminate/change-over temporary power and lighting. The cost for this work is the responsibility of Electric Contractor (Contract #3) and the work will be coordinated with the Construction Manager to minimize non-productive time.

- 
- E. Each Contractor is required to provide their own extension cords meeting the designation "hard" or "extra hard" usage as required by the OSHA construction standards.
  - F. The Electric Contractor (Contract #3) shall maintain lighting and make routine repairs as well as modify the systems to meet changing construction needs as required by all codes. This work will be performed only after notification to and approval (in writing) from the Owner/Architect/Construction Manager.
  - G. Any modifications will be performed in a way which is most efficient and cost effective to the project.
  - H. Refer to Section 01 51 10 "Temporary Power and Electricity".

### 3.02 Heating Ventilating and Air Conditioning

- A. The General Contractor (Contract #1) shall maintain specified conditions for construction operations to protect materials and finishes from damage due to temperature once the building is permanently enclosed. Prior thereto it shall be the responsibility of each prime contractor to provide temporary heat and protection required to perform his work within contract requirements and to maintain schedule.
- B. Each contractor shall provide ventilation of enclosed areas to cure materials, to disperse humidity and to prevent accumulations of dust, fumes, vapors or gases as required in performing his work.
- C. Costs for usage will be burdened by the Owner.
- D. Refer to Section 01 51 30 "Temporary Heating, Cooling and Ventilation."

### 3.03 Telephone Service

- A. Not Used

### 3.04 Water

- A. Temporary water is described in Specification Section 01 51 50 "Temporary Water."
- B. Costs for usage will be burdened by the Owner.

### 3.05 Sanitary Facilities

- A. Sanitary facilities are described in Specification Section 01 51 60 "Temporary Sanitary Facilities." Contractors shall use the facilities specified therein for construction. It is expected that Contractor's personnel will not abuse these facilities.
- B. Existing Owner facilities shall not be used.

### 3.06 Barriers for Building

- A. The General Contractor (Contract #1) will provide as required to prevent public entry to construction areas and to provide for Owner's use of site and to protect existing facilities and adjacent properties from damage from construction operations, unless specified otherwise.

### 3.07 Enclosures for Building

- A. The General Contractor (Contract #1) shall provide temporary closures of openings to exterior surfaces to provide acceptable working conditions and protection for materials and to prevent entry of unauthorized persons. The General Contractor (Contract #1) will be responsible to maintain and remove when necessary to install new work.
- B. Refer to Section 01 52 20 "Temporary Enclosures."

### 3.08 Enclosures in Existing Building

- A. The General Contractor (Contract #1) shall provide temporary partitions as required to separate work in completed areas to prevent damage, penetration of dust and moisture into these areas.
- B. Refer to Section 01 52 20 "Temporary Enclosures."

### 3.09 Protection of Installed Work

- A. Each Contractor shall provide temporary protection for installed products including temporary heating operations.
- B. Provide protective coverings at walls, projections, jambs, sills and soffits of openings as required. Protect finished floors and stairs from traffic, movement of heavy objects and storage.
- C. Prohibit traffic and storage on waterproofed, roofed surfaces and landscaped areas.

### 3.10 Field Offices and Sheds

- A. Not Used

### 3.11 Removal

- A. Remove temporary materials, equipment, services and construction prior to Substantial Completion inspection.
- B. Clean and repair damage caused by installation or use of temporary facilities. Remove underground installations to grade site as indicated. Restore existing facilities used during construction to specified or to original condition.

### 3.12 Quality Assurance

- A. Regulation: Each Prime Contractor shall comply with industry standards and with applicable laws and regulations of authorities having jurisdiction including, but not limited to, the following:
  - 1. Building code requirements.
  - 2. State Education Department.
  - 3. Health and safety regulations.
  - 4. Utility company regulations.
  - 5. Police, fire department and rescue squad rules.
  - 6. Environmental protection regulations.
- B. Standards: Each Prime Contractor shall comply with NFPA 241 "Standard for Safeguarding Construction, Alterations, and Demolition Operations," ANSI-A10 Series standards for "Safety Requirements for Construction and Demolition," And NECA Electrical Design Library "Temporary Electrical Facilities."
  - 1. Trade Jurisdictions: Assigned responsibilities for installation and operation of temporary utilities are not intended to interfere with the normal application of trade regulations and union jurisdictions but merely to assign responsibility to a Prime Contractor.
  - 2. Electrical Service: Comply with NEMA, NECA and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.

END OF SECTION 01 50 00

## **SECTION 01 51 10 TEMPORARY POWER AND ELECTRICITY**

### **PART 1 - GENERAL**

#### 1.01 Temporary Wiring for Lighting and Power

- A. The Electric Contractor (Contract#3) shall provide the temporary electrical service required for the construction operation.
- B. This specification applies to all temporary wiring for lighting, power and systems to be supplied by the Electric Contractor (Contract #3).
- C. All temporary wiring and equipment shall be in conformity with the National Electric Code.
- D. The Electric Contractor (Contract #3) shall provide and maintain temporary power to new Panels as required in the existing building and new panels within the new additions.
- E. All wiring shall ensure safety from electrical shock and fire hazards.
- F. Temporary wiring for construction work is to be turned off at its source when not in use and promptly removed when no longer required.
- G. All temporary services shall meet applicable code requirements and installed & maintained by a licensed electrical contractor.
- H. Proper circuit protection devices, conductor sizes, grounding practices, clamping and securing of equipment shall be adhered to.
- I. The Electric Contractor (Contract #3) shall provide service(s) sized sufficiently for building construction and office trailer locations.
- J. The Owner shall pay for electrical use and consumption charges.
- K. Security lighting for building exteriors shall be continuously operational and maintained.
- L. Costs for usage will be burdened by the Owner.

## PART 2 - PRODUCTS

### 2.01 Specified Products

- A. Products used shall be those specified in other sections and properly installed.

## PART 3 - EXECUTION

### 3.01 Temporary Wiring

- A. Temporary electrical wiring in hazardous areas shall conform to the electrical classification of the area.
- B. All motor and machine frames, control, starter, switch cabinets and other metal parts housing electrical equipment shall be grounded before energizing the electric equipment. Ground connections shall be secure and consistent with the current carrying connections.
- C. Disconnect switches of devices shall be positioned in obvious and accessible locations. When more than one device is required, they shall be grouped together in one location.
- D. Wires, conduits and cables shall be arranged neatly and located as far out of the way as practical. They are to be supported and confined so as to prevent hazards.
- E. Supply lines and other similar connecting runs may be in conduit, wire ways and approved cable assembly or flexible conduit. The cable shall include a grounding conductor.
- F. Temporary electrical wiring shall meet the requirements of all area environmental conditions (water, oil temperature, etc.) and comply with the latest applicable codes and OSHA requirements.

### 3.02 Temporary Lighting

- A. The number of temporary light strands on each lighting circuit (2-wire plus ground) is not to exceed 10.
- B. Protective devices shall not exceed 20 amperes.
- C. Lamps shall be inside-frosted, rough-service, medium screw-base, 150-watt, 120-volt. Insulated lamp guards shall be used.

- D. The minimum temporary lighting to be provided is at the rate of one-quarter watt per square foot and is to be maintained in each room and changed as required when interior walls are being erected. The required temporary lighting must be maintained for twenty-four (24) hours a day and seven (7) days a week at all stair levels and in all corridors below ground; in all other spaces temporary lighting is to be maintained only during working hours. Lighting in the existing building and additions shall be energized daily from 6:00 AM to 5:00 PM as a minimum duration and shall accommodate all second shift and weekend work. The temporary power and lighting to the staging areas shall be continuous. Maintenance and associated cost of the temporary lighting, including lamp replacement, shall be the responsibility of the Electric Contractor (Contract #3).
- E. The Electric Contractor (Contract #3) will maintain lighting and make routine repairs as well as modify the systems to meet changing construction needs as required by all codes. This work will be performed only after notification to and approval (in writing) from the Owner/Construction Manager.
- F. The Electric Contractor (Contract #3) shall not disturb or interrupt power and communications to the Construction Manager's trailer / Field Office.

### 3.03 Temporary Power (120-volt) for Portable Hand Tools

- A. Separate 3-wire extension cords shall be provided for portable hand tools by the Contractor requiring use of power for tools.
- B. Protective devices shall not exceed 20 amperes.
- C. Electrical Receptacles: Electric Contractor (Contract #3) shall provide receptacles with proper NEMA configurations for voltages used. Receptacles outlets shall be equipped with ground fault circuit interrupters, reset buttons and pilot light, for connection of power tools and equipment. Portable electric tools that are used with an extension cord, but connected to a permanent receptacle inside or outside, shall also require GFCI's. GFCI's shall be tested in accordance with manufacturer's specifications (before use each day). Temporary outlets shall be installed so there is no more than 50' between outlets.
- D. The Electric Contractor (Contract #3) shall provide in each addition and existing **building area, a minimum of two (2)** 100 amp panel boxes for temporary power at each area on each level.
- E. The Electric Contractor (Contract #3) shall provide, connect, relocate when necessary, disconnect and remove all power and control wiring necessary for temporary heating and ventilation units.
- F. From time to time it will be necessary to relocate/eliminate/change-over temporary power and lighting. The cost for this work is the responsibility of the Electric Contractor

(Contract #3) and the work will be coordinated with the Construction Manager to minimize non-productive time.

3.04 Temporary Power for Portable Electric Welding Machines, etc.

- A. Temporary electrical power for portable electric welding machines or similar equipment with high power demands is **not** available. Contractors requiring use of welding machines or similar equipment with high power demands are cautioned that an alternate method of power shall be provided by such contractor at no additional cost to the Owner.

3.05 Removal of Temporary Electrical

- A. Completely remove temporary materials and equipment as soon as project schedule permits. Coordinate removal with the Construction Manager.
- B. Temporary lighting installed by Electric Contractor (Contract #3) shall be at conclusion of this contract.
- C. Repair damage caused by installation and restore to specified or to original condition

END OF SECTION 015110



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## **SECTION 01 51 30 TEMPORARY HEATING, COOLING AND VENTILATION**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Temporary heating, cooling and ventilating.
- B. Operation and Maintenance.
- C. Removal.

#### 1.02 Heating Requirements

- A. It is the intent of this project to utilize the buildings existing heating system during Construction. In the event that the heating system is disturbed due to equipment & piping removals caused any work of this contract, General Contractor (Contract #1) shall furnish temporary heat until final completion. General Contractor (Contract #1) shall furnish, maintain and provide all necessary power requirements for temporary heating units and temporary controls as noted below. The temporary heating system will be used to:
  - 1. Facilitate progress of finish work.
  - 2. Protect work against dampness and cold.
  - 3. Provide suitable ambient temperatures and humidity levels for proper installation and curing of finish materials.
  - 4. Maintain minimum 55 degrees F. temperatures. Seven (7) days prior to, during and after placing of interior finishes, woodwork, finish flooring, painting and other finishing: minimum 62 degrees F., maximum 68 degrees F, unless otherwise specified.
  - 5. The General Contractor (Contract #1) shall provide as noted in other sections, any and all temporary enclosures necessary to close in sections of the buildings for temporary heat and to protect his work and others from weather-related damage.
  - 6. Specific areas (additions) requiring heat for performance of work, (i.e. excavation, backfill, concrete, masonry, roofing, fireproofing, etc.), shall be provided by the Prime Contractor requiring the heat.
  - 7. Temporary heating plants utilizing owner's services as an energy source can be used including the existing boiler (s) hydronic heating system.
  - 8. Temporary heat will be utilized until permanent building enclosure is complete and New Mechanical systems are turned over to the Owner.

9. The General Contractor (Contract #1) shall maintain specified conditions for construction operations to protect materials and finishes from damage due to temperature once the building is permanently enclosed.

#### 1.03 Ventilation Requirements

- A. Each Contractor shall provide adequate ventilation to:
  1. Comply with applicable laws and regulations.
  2. Cure installed materials.
  3. Maintain humidity/temperature requirements for renovation work in the existing facility.

#### 1.04 Use of Existing Systems

- A. See 1.02 above.

#### 1.05 Costs

- A. The General Contractor (Contract #1) shall be responsible for all costs associated with the temporary heating units.
- B. Costs for usage will be burdened by Owner.

### PART 2 - PRODUCTS

#### 2.01 Materials

- A. Materials must be new and must be adequate for purpose intended and must not create unsafe conditions or violate requirements of applicable codes.

#### 2.02 Equipment

- A. Portable indirect fired heaters: standard units, approved by Owner/Construction Manager, meeting applicable code and to include:
  1. Natural gas or propane for fuel (electrically powered unit heaters are prohibited).
  2. Safety controls to protect against explosion, overheating and carbon monoxide buildup.
  3. Vents to outside for all units if required.
  4. Adequate air for combustion.

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## PART 3 - EXECUTION

### 3.01 Installation

- A. Install work in neat and orderly manner.
- B. Make structurally, mechanically and electrically sound throughout.
- C. Modify and extend system as work progress requires.
- D. Obtain Owner/Construction Manager's approval for planned system. Submit temporary heating plan for review and comment.
- E. Locate units where shown to provide equal distribution of heat and air movement and to avoid interference with or hazards to:
  - 1. Work or movement of personnel
  - 2. Traffic areas
  - 3. Materials handling
  - 4. Storage areas
  - 5. Work of other contracts.
  - 6. Finishes

### 3.03 Removal of Temporary Heat

- A. General Contractor (Contract #1) shall completely remove temporary materials and equipment when no longer required.
- B. Repair all damage caused by temporary installation to the satisfaction of Owner/Construction Manager, at no additional cost.

END OF SECTION 01 51 30



## **SECTION 01 51 50 TEMPORARY WATER**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Temporary water service.
- B. Maintenance.
- C. Removal.

#### 1.02 Service Requirements

- A. Source:
  - 1. The Plumbing Contractor (Contract #4) shall extend the service as required for construction activities as directed by the Construction Manager or as stated elsewhere in the Contract Documents.
  - 2. The existing services to the existing Buildings must be maintained at all times.

#### 1.03 Distribution

- A. Shall meet all existing codes and regulations and shall be made in accordance with Contract Documents. Any deviation shall be submitted to the Owner/Construction Manager for written approval.

#### 1.04 Use of Existing System

- A. Existing system may be used for temporary water. Existing service shall remain operational until the new service is connected.

#### 1.05 Contractor's Costs

- A. Costs for usage will be burdened by Owner.

### **PART 2 - PRODUCTS**

#### 2.01 Materials

- A. Each Contractor shall provide drinking water for his workmen employed on the project. Conform to Rule No. 23 of New York State Department of Labor Industrial Code and applicable Federal Laws.
- B. Materials for drinking water to be new, for other purposes materials may be new or used.
- C. Drinking Water Dispensers: Standard products in accordance with applicable code.

### PART 3 - EXECUTION

#### 3.01 Installation

- A. Existing system may be used for temporary water.

#### 3.02 Maintenance

- A. The Plumbing Contractor (Contract #4) shall maintain system to provide continuous service with adequate pressure.

#### 3.03 Removal

- A. The Owner/Construction Manager shall not incur any additional costs for removal and restoration of temporary water facilities.

END OF SECTION 01 51 50

## **SECTION 01 51 60 TEMPORARY SANITARY**

### **PART 1 - GENERAL**

- 1.01 Requirements Included
  - A. Temporary Sanitary Facilities
  - B. Maintenance, Service
  - C. Removal
  - D. Cleaning
- 1.02 Use of Existing Facilities
  - A. Do not use the Owner's existing sanitary facilities.
- 1.03 Use of Permanent Facilities
  - A. Permanent sanitary facilities shall not be used for temporary purposes.

### **PART 2 – PRODUCTS**

Not Used

### **PART 3 - EXECUTION**

- 3.01 Construction Manager Responsibility
  - A. Not Used
- 3.02 Temporary Sanitary Facilities
  - A. The General Contractor (Contract #1) shall provide adequate chemical toilets for use of all Contractors' construction personnel, and shall maintain, service, and clean these facilities for the duration of the project. These facilities shall be as called for by OSHA, State and local codes and regulations.
  - B. Provide and maintain all units in a clean and sanitary condition. At the minimum, clean on a weekly basis, and more often as necessary. Provide all toilet supplies as required.
  - C. Toilets shall be relocated or removed as necessary at the direction of the Construction Manager.

END OF SECTION 01 51 60





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**SECTION 01 51 90 – TEMPORARY PROTECTION**

**PART 1 - GENERAL**

1.01 Requirements Included

Includes, but is not limited to:

- A. Work of this Section shall be performed in accordance with the requirements of the Contract Documents, including but not limited to Instructions to Bidders, Agreement and General Conditions and General Requirements.
- B. The word "Contractor" of imperative mode shall apply equally to all Prime Contractors, unless Construction Manager specifically states otherwise.

1.02 Maintenance and Protection of Traffic

- A. Traffic around the construction site shall be kept to a minimum.
- B. The Construction Manager's office will keep and maintain a log of all visitors to the site. All visitors are to be brought to the Construction Manager's office upon entering and leaving.

1.03 Signs and Barricades

- A. Each Contractor shall provide and maintain all signs and barricades. Signs and barricades shall comply with all OSHA, State and local codes and requirements.
- B. Each Contractor shall provide such additional signs and barricades as required by Owner/Construction Manager.
- C. The General Contractor (Contract #1) will provide signs and barricades as required to prevent public entry to construction areas and to provide for Owner's use of site and to protect existing facilities and adjacent properties from damage from construction operations, unless specified other wise.
- D. The General Contractor (Contract #1) shall provide and maintain emergency egress inside the building footprint.

1.04 Protection

- A. Provide, erect and maintain such temporary work as may be required for protection of public and those employed in or about the existing building.
- B. Protect all streets, sidewalks, roads and pavement areas. Repair all damage to same where same has occurred as a result of construction operations under this project at no additional cost to the Owner.
- C. Snow removal (by equipment) shall be responsibility of the General Contractor (Contract #1) for the duration of the project. Staging areas, office and storage trailer area, Construction Managers office, site access road, and toilet area are required to be cleared

whenever snow depth reaches 3", or as required for site access and safety. Hand shoveling by each Contractor is required as necessary to maintain access to storage and walkways to Prime Contractor office trailers.

- D. Provide all shoring, bracing and sheathing required for safety and proper execution of work. Remove same when work is completed.
- E. Provide and maintain such temporary work as may be required for protection of finished work where liable to injury.
- F. Each Contractor shall comply with the safety requirements of all local, State and Federal laws and the Owner/Construction Manager.
- G. Protect all work likely to be damaged as a result of freezing during cold weather. If low temperatures make it impractical to continue operations safely in spite of cold weather precautions, cease work and so notify Construction Manager in writing immediately.
- H. Protect all aluminum work from acids, masonry stains, etc. during construction operations, under penalty of replacement if injured or defaced.

#### 1.05 Storage

- A. Each Contractor will be held responsible for care and protection of all material stored on site including Owner supplied material if Contractor is responsible for installation. Provide adequate platforms and proper waterproof covering. Locate such material where directed by the Construction Manager.
- B. Each Contractor shall relocate stored material when directed by the Construction Manager, at no additional cost.

#### 1.06 Guard-rails

- A. Construction:
  - 1. Use only acceptable industry standard, temporary guard-rails. Comply with all OSHA requirements.

#### 1.07 Floor and Wall Openings

- A. Each Prime Contractor shall provide maintain and remove perimeter guardrails and kick plates at floor, roof and wall openings they create.
  - 1. Board over all floor openings and holes with a cover secured from displacement. Contractor must comply with all OSHA, State and local codes and regulations.
  - 2. When a complete floor cover is impractical, such as for large floor openings with open sides of floors, provide a standard guardrail enclosure. Guardrails must comply with all OSHA, State and local codes and regulations

3. Protect ladder-way floor openings or platforms with a gateway or an offset. Such protection must comply with all OSHA, State and local codes and regulations
4. Protect wall openings with a guard-rail when there is a drop of 4' or more, if the bottom of the opening is less than 3' above the working surface or in accordance with all OSHA, State and local codes and regulations
5. Barricade or securely cover apertures in walls or floors (ducts, sleeves, boiler-drum openings, etc.) through which tools or material might fall. Be sure the covers cannot be accidentally dislodged. Such barricades and coverings must comply with all OSHA, State and local codes and regulations.
6. Never leave floor or wall openings unguarded or unattended when guardrails, floor-opening covers or other safety devices must be removed.
7. Whenever such safety devices have to be removed, the person who removes them is responsible for securely replacing them as soon as possible in compliance with all OSHA, State and local codes and regulations.

#### 1.08 Stairways

- A. Not Used

#### 1.09 Miscellaneous

- A. Do not store material closer than 6' from any hoistway or inside floor opening, or within 10' of an exterior wall which is lower than the top of the material.
- B. Safety belt and lanyard shall be used at all times when an employee is exposed to a fall greater than 10 feet.
- C. All personnel working/visiting on site are required to wear hard hats and safety glasses *at all times*. Failure to comply with this article is cause for removal from site.

END OF SECTION 01 51 90



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## **SECTION 01 52 10 TEMPORARY MATERIAL HOISTING**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Material hoist (if applicable)
- B. Operation and Maintenance
- C. Removal

#### 1.02 Description of System

- A. Each Contractor shall provide hoisting equipment of suitable capacity to carry construction materials, acceptable to the Construction Manager. Rigging is the responsibility of the Contractor responsible for installation of materials or equipment.
- B. The elevators in the existing building WILL NOT be allowed to be used by the contractors. Each contractor is to provide their own hoisting as required.

#### 1.03 Submittals

- A. Submit to the Construction Manager, for approval, the following in accordance with Section 01 30 00.
  - 1. Proposed location, access points and ramps.
  - 2. Details of attachment.
  - 3. Safety devices and protective canopies.
  - 4. Method of operation and signal system.
  - 5. Power requirements.
  - 6. Protection of adjacent structure.
  - 7. Size, weight, and number of pieces to be hoisted.
  - 8. Where practical, this information should be submitted 1 to 2 weeks in advance.

#### 1.04 Costs

- A. Cost of separate material hoisting equipment, materials, installation, maintenance, operation, and removal is the responsibility of the installing Contractor.

### **PART 2 - PRODUCTS**

#### 2.01 Materials

- A. Equipment may be new or used, but shall be adequate in capacity for required purpose and satisfy all applicable codes and regulations.

### PART 3 - EXECUTION

#### 3.01 Installation

- A. Installation shall comply with all OSHA, State and local regulations. Use of hoisting equipment shall not occur without written approval from Owner or Construction Manager.

#### 3.02 Location

- A. Hoist (if applicable) shall be provided at one (1) central location as directed by the Construction Manager.

#### 3.03 Protection

- A. Protection shall comply with all OSHA, State and local regulations. Use of hoisting equipment shall not occur without submission of a hoisting plan to the Construction Manager.

#### 3.04 Communications

- A. When the hoist operator cannot maintain visual contact with the hoist load, the Contractor shall provide visual signal communication in accordance with all applicable code requirements, including but not limited to OSHA.

#### 3.05 Removal

- A. Completely remove temporary hoist and associated materials when no longer required.
- B. Repair all damage caused by hoisting equipment at no additional cost to owner.

END OF SECTION 01 52 10

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## **SECTION 01 52 20 TEMPORARY ENCLOSURES**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Temporary Enclosures
- B. Maintenance
- C. Removal

#### 1.02 Service Requirements

- A. The General Contractor (Contract #1) shall provide temporary enclosures of exterior openings to provide acceptable working conditions, to protect materials, to allow for temporary heating, and to prevent entry of unauthorized persons.
  - 1. Where heat is needed and the permanent building enclosure is not complete, provide temporary enclosures where there is no other provision for containment of heat. Coordinate enclosure with ventilating and material drying or curing requirements to avoid dangerous conditions and effects.
  - 2. Close openings through floor or roof decks and horizontal surfaces with load-bearing, wood-framed construction.
  - 3. Where temporary wood or plywood enclosure exceeds 100 sq. ft. (9.2 s.m.) in area, use UL labeled fire-retardant-treated material for framing and main sheathing.
  - 4. Generally, temporary closures for openings are the responsibility of the General Contractor (Contract #1) and shall be provided to protect building from exterior elements. Specifically:
    - a. The General Contractor (Contract #1) shall enclose all new window, entrance and curtain wall openings at the building with 2 x 4 wood blocking and reinforced 6 mil. Polyethylene sheets, in the additions as soon as perimeter exterior concrete blocks are placed and the General Contractor (Contract #1) in the renovated areas immediately after removals. Removal and disposal to Dumpster of temporary window, entrance and curtain wall enclosures shall be by the General Contractor (Contract #1).
    - b. The General Contractor (Contract #1) shall enclose roof openings with blocking, plywood and EPDM until roof top appurtenances are placed. Removal of these roof opening enclosures and disposal to Dumpster shall be by Contractor placing permanent equipment.

- B. Temporary partitions shall be installed, maintained and removed under General Contractor (Contract #1). Temporary partitions shall be installed at all openings where required to protect property; to separate and control dust debris, moisture, noise, access, sight, fire areas, safety and security, and to separate phased construction areas. Temporary partitions shall be insulated, constructed of noncombustible materials and have emergency egress doors and hardware where noted on drawings.
- C. Each Contractor shall provide temporary protection for installed products.
- D. Provide protective coverings at walls, projections, jambs, sills and soffits of openings as required. Protect finished floors and stairs from traffic, movement of heavy objects and storage.
- E. Prohibit traffic and storage on waterproofed, roofed surfaces and landscaped areas.
- F. The General Contractor must have all roofing work complete to have the building enclosed in time per the Milestone schedule. If the permanent roofing cannot be installed, The General Contractor is to provide Temporary Roofing based on weather conditions and / or roofing installation instructions and warranty to meet the project milestone schedule to enclose the building and maintain weather tight.

#### 1.03 Submittals

Not Applicable

#### 1.04 Costs

- A. Installation, maintenance, removal and restoration costs to be paid by the installing Contractor.

### PART 2 - PRODUCTS

#### 2.01 Materials

- A. Temporary enclosures may be new or used, adequate for the required purpose.
- B. Materials to be fire-resistant treated, with UL labels and flame spread ratings of 15 or less.
- C. Translucent, fiber-mesh-reinforced polyethylene may be used where daylight would benefit workmanship and reduce the need for temporary lighting. Polyethylene shall not be used where security is at risk.

### PART 3 - EXECUTION

#### 3.01 Installation

- A. Maintain to provide intended service.
- B. Alter as required to maintain the project schedule.



3.02 Removal

- A. Remove temporary enclosures as needed to permit completion of work.
- B. Repair damage caused by installation and restore to specified or original condition without additional costs to the Owner.

END OF SECTION 01 52 20



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**SECTION 01 55 00 – ACCESS ROADS, PARKING AND STAGING AREAS**

PART 1 - GENERAL

1.01 Requirements Included

- A. Access Roads and parking.

PART 2 - PRODUCTS

2.01 Materials

Refer to Civil Drawings and Divisions 31, 32 and 33 for specific requirements.

PART 3 - EXECUTION

3.01 Installation

Refer to Civil Drawings and Divisions 31, 32 and 33 for specific requirements.

3.02 Access Roads

- A. Refer to Civil Drawings and Divisions 31, 32 and 33 for specific requirements.

3.03 Existing Pavements and Parking Areas

- A. Existing site driveways may be used for construction traffic.
- B. Parking facilities are not available for construction personnel. All workers shall park off site.
- C. Storage of construction trailers or storage shed will be restricted to locations designated by the Construction Manager and may in no way interfere with the Project's daily functions.
- D. Temporary parking by construction personnel is allowed on site and is restricted to locations designated by the Construction Manager.
- E. Traffic Regulations:
  - a. Utilize only designated entrances.
  - b. Maintain all traffic regulations.

3.04 Permanent Pavements and Parking Facilities

Refer to Civil Drawings and Divisions 31, 32 and 33 for specific requirements.

3.05 Maintenance

- A. Snow Removal is included in General Contractor's (Contract 1) package.

3.06 Removal and Repair

- A. Removal and replacement of damaged or non-conforming access roads, parking areas and staging areas are the responsibility of the General Contractor's (Contract 1) package.

3.07 Staging

- A. Temporary staging is allowed on site and is restricted to locations designated by the Construction Manager.

END OF SECTION 01 55 00

## **SECTION 01 56 10 NOISE CONTROL**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Provide and maintain labor, methods, equipment, and temporary construction as necessary to provide controls over environmental conditions at the construction site and related areas under Contractor's control; remove physical evidence of temporary facilities at completion of Work.
- B. Comply with the general noise and vibration restrictions as set forth by current OSHA, State and local government and as required by the Owner to avoid disruption of adjacent facility use and disturbance to adjacent neighbors and housing.

### **PART 2 - PRODUCTS**

Not Used

### **PART 3 - EXECUTION**

Not Used

END OF SECTION 01 56 10



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## **SECTION 01 56 90 – CONSTRUCTION CLEANING**

### **PART 1 - GENERAL**

#### 1.01 Requirements Included

- A. Cleaning and disposal of waste materials, debris and rubbish during construction.

#### 1.02 Cleaning Notice

- A. Each Contractor is responsible for clean-up and disposal of waste materials, debris and rubbish on a daily basis.
- B. The Owner/Construction Manager may issue written notification of insufficient cleaning relative to the requirements of this Section. Upon issuance of the cleaning notice:
  - 1. All waste and accumulation of trash containing the Contractor's debris shall be removed from the Owner's premises within 24 hours of notification.
  - 2. All designated project areas containing the Contractor's debris or requiring general housekeeping shall be left fine broom clean (interior) or raked clean (exterior or rough surface). Sweeping compound shall be used for all interior broom cleaning to control dust.
- C. Failure by the Contractor to comply with the 24 hour requirement of the notice to the satisfaction of the Owner/Construction Manager will result in a cleaning program directed by the Construction Manager at the expense of the Contractor. Cost of clean-up performed for the Owner will be deducted from the Contractor's Request for Payment.

### **PART 2 - PRODUCTS**

Not Applicable

### **PART 3 - EXECUTION**

#### 3.01 Cleaning

- A. Maintain areas under Contractor's control free of waste materials, debris, and rubbish. Maintain site in a clean and orderly condition.
- B. Remove debris and rubbish from closed or remote spaces, prior to closing the space.
- C. Daily clean interior areas to provide suitable conditions for work.
- D. Broom clean interior areas prior to start of surface finishing, and continue cleaning on an as-needed basis.
- E. Control cleaning operations so that dust and other particles will not adhere to wet or newly-coated surfaces.

### 3.02 Disposal

- A. Dumpsters shall be located on site, accessible to building and roads. Each Contractor (exceptions see Section 01 10 00) may legally load acceptable construction debris into the Dumpsters (from this project only). Cost of all disposal fees for these Dumpsters shall be under the General Contractor (Contract #1) and Dumpsters shall remain on the project until project completion, or as directed by Construction Manager.
- B. Dumpsters and costs of all disposal fees for Asbestos work shall be the responsibility of the General Contractor (Contract #1).
- C. It is the responsibility of all Contractors to secure all Dumpsters provided by the General Contractor (Contract #1)..

END OF SECTION 01 56 90



## PART 1 – GENERAL

### 1.01 RELATED DOCUMENTS

1. Drawings and general provisions of Contract, including General and Supplemental and Division 1 Specification sections, apply to the Work of this section.

### 1.02 DESCRIPTION OF WORK

1. “Hardware” includes items known commercially as builder’s hardware which are required for swing, sliding and folding doors except special types of unique and non-matching hardware specified in the same section as the door and door frame.
2. All hardware furnished in connection with doors bearing Underwriters’ Labels or where necessary to meet building codes, federal guidelines for non-discrimination on the basis of disabilities (ADA), and special requirements will be in strict accordance with conditions established by the authority having jurisdiction and subject to approval of that authority.
3. Locking and latching devices on doors from classrooms and all other rooms accessible to students shall be of a type that will always allow free and unobstructed exit from that space by a familiar means such as a lever or exit device.
4. All building exits and any door which is a required means of egress from an area having an occupant load of 50 persons or more may be provided with a latch or lock device only if it is an approved exit device, U.L. labeled for “ACCIDENT HAZARD”

### 1.03 SCOPE OF WORK

1. The hardware supplier shall furnish and delivery to the project all items or architectural hardware hereinafter specified in the plans and specifications, or where necessary to assure the proper operation of all doors and wherever hardware is scheduled. Items not specifically mentioned but necessary to complete the work shall be furnished, matching in quality and finish the items described or specified. Supplier is responsible for proper coordination of all finish hardware with related sections to insure compatibility of products.
2. Items included in this section are as follows:

All Door Hardware  
Thresholds  
Weatherstripping  
Key Cabinet

3. Fire-Rated Assemblies inspection

1.04 RELATED WORK IN OTHER SECTIONS

1. The following items are specified in other Divisions of the Specifications:

Cabinet Hardware  
Steel/Expansion Joint Covers/Sill Plates  
Window Hardware  
Toilet Partition Hardware  
Identifying Devices  
Marble Thresholds

1.05 QUALITY ASSURANCE

1. Obtain each kind of hardware (latch and locksets, hinges, etc.) from only one manufacturer, although several may be indicated as offering products complying with requirements.
2. Supplier: A recognized builders hardware supplier who has been furnishing hardware in the project vicinity for a period of not less than 2 years, and shall have in his employ or at his disposal a qualified Architectural Hardware Consultant certified by an independent organization such as the Door and Hardware Institute or the Society of Architectural Hardware Consultants. The hardware consultant shall be available to meet with the architect and/or General Contractor upon reasonable notice to: 1) review the hardware schedule submittal, 2) coordinate with other trades,
3. The contractor shall make final adjustments to closers and exit devices and assist electrician with final testing of electric locking devices.
4. Pre-installation Conference: Conduct conference at Project site to comply with requirements in Division 1 Section "Project Meetings." The hardware manufacturers are to supply the pre-installation conference as well as a post-installation walk-thru. This is to insure proper installation and provide for any adjustments or replacements

of hardware as required. Review methods and procedures related to electrified door hardware including, but not limited to, the following:

- a. Inspect and discuss electrical roughing-in and other preparatory work performed by other trades.
- b. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
- c. Review required testing, inspecting, and certifying procedures.
- d. Review sequence of operation or each type of electrified door hardware.

## 1.06 REGULATORY REQUIREMENTS

1. Comply with accessibility requirements, comply with Americans with Disabilities Act (ADA), "Accessibility Guidelines for Buildings and Facilities (ADAAG)," ANSI A117.1, FED-STD-795, "Uniform Federal Accessibility Standards."
2. Fire Rated Openings: Provide hardware for fire rated openings in compliance with NFPA Standard No. 80 and local building code requirements. Provide only hardware which has been tested and listed by UL or an approved testing agency for types and sizes of doors required and complies with requirements of door and door frame labels.
3. Fire-Rated Assemblies Inspection: Upon completion of the installation, all fire door assemblies shall be tested to confirm proper operation of the closing device and that it meets all criteria of a fire door assembly as per NFPA 80 2007 Edition. At completion of the project, written record shall be furnished by the door hardware supplier and given to the owner to be made available to the Authority Having Jurisdiction, "AHJ". The record shall show all fire rated openings, door number and location, along with hardware supplied and installed for the opening. The inspection of the fire doors that are swinging doors with builders hardware type to be performed by individuals with knowledge and understanding of the operating components of the type of door being subjected to testing as required by the AHJ.

## 1.07 SUBMITTALS

1. Submit manufacturers technical information for each item of hardware. Include whatever information may be necessary to show compliance with requirements, and include instructions for installation and for maintenance of operating parts and finish. Transmit copy of applicable data to Installer.
2. The hardware schedule shall consist of the actual product series numbers. Bidders are required to follow manufacturer's catalog requirements for actual size of door closers, brackets and holders. All door sizes are to be noted on the hardware schedule and all hardware shall be in strict accordance with height, width, and thickness requirements. Where closers or overhead door stops are scheduled, the hardware schedule shall indicate the degree of opening for each door affected.
3. The hardware supplier shall submit to the architect for approval the complete hardware schedule within fifteen (15) days after award of the contract. No hardware shall be delivered until the hardware schedule has been approved by the architect.
4. The schedule shall follow requirements of the specification and shall indicate type, manufacturer's name, catalog number, location and finish of each item to be furnished, all in accordance with the Door & Hardware Institute "Architectural Hardware Scheduling Sequence and Format". "Vertical" scheduling format only. "Horizontal" schedules will be returned "Not Approved." Preface sheet listing category only and manufacturer's names of items being furnished as follows:

## 1.08 SUBSTITUTIONS AND SAMPLES

1. Preferred Products: Due to successful performance, durability and maintainability, the Plant Maintenance Department of the Rochester City School District stocks parts, is trained to repair, and uses the specified preferred products listed as the basis of design, in the Hardware Sets.
2. Equivalents: In regards to the "OR EQUAL CLAUSE" of the General Conditions of this contract, equivalents of equal or better quality may be made if approved by the District's Design Group. If the Bidder intends to use an equivalent on this project, the equivalent must be submitted to the District's Design Group for approval prior to the award of the Contract. Such request for equivalents by the Bidder

shall be accompanied by physical samples of those items he proposes to substitute. Bidder shall include letter indicating which specific product feature(s) called for in the specification which the proposed substitution does not provide. Thereafter, if no requests for equivalents are presented prior to award of the Contract, the District must assume that the Bidder has intended in his bid to use these specified products.

3. Sample Request: Any request by the architect for samples shall be furnished by the hardware supplier no later than ten (10) days after said request is received.

#### 1.09 MARKING, PACKING, DELIVERY AND STORAGE

1. All locks, exit devices, door closers, overhead door holders, hinges, kickplates, pulls and push plates, threshold and other similar items shall be individually packed in separate, suitable original containers as furnished by the hardware manufacturers. Each container shall be clearly marked with items numbers, article numbers and names, corresponding to that listed in the hardware schedule.
2. Small miscellaneous items, such as door stops, coat and hat hooks and door silencers that would not require specific location identifications, may be quantity packed if properly labeled with item numbers, etc.
3. The Contractor shall check the hardware upon delivery with the aid of a representative of the hardware supplier's firm. The Contractor shall be responsible for the proper storage of all hardware until ready for application.

#### 1.10 JOB CONDITIONS

1. Coordinate hardware with other work. Tag each item or package separately, with identification related to the final hardware schedule, and include basic installation instructions in the package. Furnish hardware items of proper design for use on doors and frames of the thicknesses, profile, swing, security and similar requirements indicated, as necessary for proper installation and function. Deliver individually packaged hardware items at the proper times to the proper locations (shop or project site) for installation.
2. Furnish hardware templates to each fabricator of doors, frames and other work to be factory-prepared for the installation of hardware. Check the shop drawings of such other work, to confirm that

adequate provisions are made for the proper installation of hardware. All template information shall be in accordance with the DHI handbook, "Recommended Procedure for Processing Hardware Schedules and Templates".

## PART 2 - PRODUCTS

### 2.01 MATERIALS AND FABRICATION

1. The drawings show the direction of slide, swing or hand of each door leaf. Furnish each item of hardware for proper installation and operation of the door movement as shown.
2. Produce hardware units of the basic metal and forming method indicated, using the manufacturer's standard metal alloy, composition, temper and hardness, but in no case of lesser (commercially recognized) quality than specified for the applicable hardware units by FS-H-I06, FS FF-G-III, FS FF-H-II6 and FS FF-H-I2I. Do not furnish "optional" materials or forming methods for those indicated, except as otherwise specified.
3. Manufacture hardware to conform to published templates, generally prepared for machine screw installation. Do not provide hardware which has been prepared for self-tapping sheet metal screws, except as specifically indicated.
4. Furnish screws for installation, with each hardware item. Provide Phillips flat-head screws except as otherwise indicated. Finish exposed (exposed under any condition) screws to match the hardware finish or, if exposed in surfaces of other work, to match the finish of such other work as closely as possible, including "prepared for paint" in surfaces to receive painted finish.
5. Provide concealed fasteners for hardware units, which are exposed when the door is closed, except to the extent no standard units of the type specified are available with concealed fasteners. All surface mounted hardware on wood doors shall be installed with thru bolts.
6. Furnish a complete set of specialized tools as needed for Owner's continued adjustment, maintenance, and removal and replacement of builder's hardware.
7. The Contractor shall check the hardware upon delivery with the aid of a representative of the hardware supplier's firm. The Contractor shall

be responsible for the proper storage of all hardware until ready for application.

## 2.02 MANUFACTURERS

1. Requirements for design, grade, function, finish, size and other distinctive qualities of each type of finish hardware are indicated in the Hardware Schedule at the end of this section. Products are identified by using hardware designation numbers of the following.
2. Manufacturer's Product Designations:

Butt Hinges:	Ives
Continuous Hinges:	Ives
Locksets:	Schlage
Exit Devices:	Von Duprin
Push Bars:	Von Duprin
Door Pulls:	Von Duprin, Ives
Closers:	LCN
Automatic Door Operators	LCN
Overhead Stop & Holders:	Glynn-Johnson
Kickplates:	Ives
Silencers:	Ives
Floor/Wall Stops:	Ives
Threshold, Seals & Weatherstrip	Zero International
Cast Aluminum Thresholds	Wooster

## 2.03 FINISH

1. Finish of hardware shall be:
  - .1 Hinges US26D/652 @ all wood and hollow metal doors.  
US28/628 @ all aluminum and FRP doors.
  - .2 Closers - Powder coat, equal to LCN 689.
  - .3 Trim (push, pull, kickplates) US32D/630.
  - 4 Exit Devices  
US26D/626 lock and end stile cases as noted.  
US26D trim.  
US32D/630 touch pad.  
Anodized finish on devices mounted on aluminum doors shall match door and frame finish.
  - .5 Weather and sound seals; Dark Bronze or clear anodized as noted.
  - .6 Thresholds; Abrasive cast, or mill finish Aluminum, as specified.
  - .7 Silencers; Grey

## 2.04 KEYING

### 1. Keys and Locking System

- .1 All keys, cores and cylinders to be Everest 29 restricted "T" family, as manufactured by Schlage Lock Company (owners existing system).
- .5 All cylinders must be keyed to the great grand master system following the specific instructions of the school district or its appointed liason.
- .6 All codes must be generated at the lock manufacturer mastery department and copyrighted.
- .7 All keying shall be done at the factory or by a qualified locksmith with factory bitting under the direction of a certified Architectural Hardware Consultant (AHC).
- .8 All locks and lock cylinders must accept large format interchangeable core as well as standard core cylinders where applicable.
- .9 Provide interchangeable core cylinders at all exterior doors, and interior doors with exit devices, standard core cylinders on all other interior doors.
- .10 Provide 3 change keys per lock, 5 master keys for each master system and 5 grandmasters for each grandmaster system. Furnish one extra key blank per lock.

### 2. Keying Schematic and Layout

- .1 Lock manufacturer shall successfully conduct keying meetings to ensure proper keying of all locks and cylinders.
- .2 The keying schematic shall conform to district keying system requirements in regard to proper lock manufacturer, keyway, code generation and master key order placement.
- .3 Hardware supplier shall submit keying schedule for approval prior to placing an order for the locks. Furnish a bitting list to the school district before installation of permanent cylinders.

### 3. Locks and Cylinders

- .1 Any lock manufacturer used must make housings for standard core cylinders as well as large format cores.
- .2 Lock manufacturer's representative must assist in keying locks and code generation in such a way that it will conform to all above specifications.



- .3 Lock manufacturer's housing must be able to accept Schlage Everest UL437 listed cylinder.
- .4 Mortise locksets shall be used on all new doors and for retrofit of existing doors with old mortise lock cutouts.
- .5 Mortise locksets shall be L9000 series as manufactured by Schlage Lock Co. Trim design shall be 17 lever with L style escutcheon unless specified otherwise. Trim design to be verified on a per job basis.
- 6 ND series cylindrical locksets as manufactured by Schlage Lock Co. shall be used when retrofitting existing doors with cylindrical lock cutouts.
- .7 Furnish a key cabinet system where projects have fifty new doors or involve rekeying the entire building, Telkee or equal.
8. Furnish temporary cylinders, or keying for the construction period. Coordinate all permanent cylinder, keys and keying requirements with Roddy Johnson, Locksmith / Plant Maintenance Division (585)-336-4126.

## 2.05 MATERIALS As listed below, unless indicated otherwise in Hardware Sets

1. Hinges – Ives, (Stanley, McKinney, Hager)
  - .1 All 5BB1 (EXCEPT as noted)
  - .2 (3) hinges up to and including 90" door height
  - .3 (4) hinges for doors over 90"
  - .4 Width of hinge = 4½" except as noted, furnish wide throw hinges where trim conditions require.
  - .5 Height of hinge = 4½" up to 38" door width - 5" on doors over 38"
  - .6 ALL hinges on corridor doors shall be NRP (non-removeable pin)
2. Continuous Hinges – Ives, (Select Products, Roton)
  - .1 Hinge shall be a pinless assembly of three interlocking extrusions applied to the full height of the door and frame without mortising. The door leaf and jamb leaf shall be geared together for the entire length of the hinge and joined by a channel. Hinge knuckle shall be monolithic in appearance. Continuous hinges with visible knuckle separations are not acceptable. Vertical door loads shall be carried on minimum 3/4" acetyl bearings through a full 180 degrees. All (HD) heavy-duty hinges shall have a minimum of (32) acetyl bearings supplied on a (84") tall continuous hinge.

2. Screw hole locations on door leaf and jamb leaf to be templated.
3. Locksets- Schlage L Series, (Corbin Russwin ML2000VR Series, Best 45H Series)
  - .1 Locksets shall be Schlage L9000 series mortise type and must have the following features:
  - .2 Hand of lock can be changed without disassembly of lock case.
  - .3 Lever support springs are replaceable without disassembly of lock case.
  - .4 Outside spindles on locking functions on sets with lever handle trim shall be of a type which is separate from the inside spindle. Threaded swivel connection between outside and inside lever trim is unacceptable.
  - .5 Trim to be applied by threaded bushing. Exposed fasteners shall not be acceptable.
  - .6 Manufacturer shall provide universal lock chassis, one lock case for knobs or levers.
4. Lock Trim
  - .1 Locksets shall be furnished with lever handle trim (Trim design to be determined on a per job basis). Levers shall be solid in construction, 4-<sup>3</sup>/<sub>4</sub>" minimum length. Escutcheons shall be cold forged. Roses shall be heavy wrought, 2-1/8" maximum diameter.
  - .2 All locks to be furnished with (6) pin cylinders as specified above. Cylinder cams shall match the lock manufacturer's template.
5. Deadlocks – Yale 300 Series – (Accurate, Corbin/Russwin, Sargent)
6. Exit Devices – Von Duprin, (Stanley/Precision 2000 Apex, Sargent 80 Series)
  - .1 99 Series except as noted
  - .2 Keyed removable mullions on pairs of doors unless noted otherwise.
  - .3 Furnish glass bead kits at fire doors wherever the glass area falls below 42" above finish floor.
  - .4 All devices shall incorporate fluid damper or similar device, which will slow down the touchbar return, thereby eliminating the noise commonly, associated with panic bars.

- .5 Strikes at pullman type latches shall be roller type.
  - .6 The latchbolt shall be molly coated, a self-lubricating coating, which reduces friction and wear. Latchbolt shall have a deadlocking feature.
  - .7 Center Case: Shall be interchangeable with all functions.
  - .8 All internal parts shall be zinc dichromate coated.
  - .9 Strikes: Shall be roller type and come complete with a locking plate to prevent movement.
  - .12 Trim: Shall be heavy-duty type and fastened by means of concealed welded lugs and thru bolts from the inside. Lever trim shall be cast, or forged brass with a minimum average thickness on the escutcheon of (.130). Plate on pull trim shall be minimum average thickness (.090) and have forged pulls.
  - .13 Lever trim shall incorporate two heavy duty compression springs and have breakaway feature.
7. Closers – LCN 4000 Series, (Sargent 281 Series less PRV)
- .1 Furnish LCN with standard metal cover, EXCEPT as noted.
  - .2 Indicate degree of opening for mounting closer for each door on hardware schedule.
  - .3 Furnish with each closer a full size screw location template for correct type of mounting and degree of opening.
  - .4 Furnish thru-bolts and ceal nuts (NOT GROMMETS) at all wood fire doors and as may be required by carpenter for correct fastening.
  - .5 Metal cover shall be fastened to closer body with tamper resistant screws, installed through holes in cover. Slotted covers are not acceptable. Closer arm shall be fastened to frame with tamper resistant screws.
  - .6 All closers shall meet or exceed the ANSI 117 standards.

- .7 Furnish all adapter plates, brackets, and related closer accessories required by manufacturer for mounting closers on the doors and frames as detailed.
  - .8 All manual door closers shall be certified to exceed ten million (10,000,000) full load operating cycles by a recognized independent testing laboratory.
  - .9 All manual closers shall carry a manufacturers minimum ten (10) year warranty.
  - .10 All closer with electrical or pneumatic components shall carry a manufacturers two (2) year warranty.
  - .11 Fully hydraulic, rack and pinion action with high strength cast iron cylinders and one piece forged steel pistons.
  - .12 Hydraulic fluid of a type requiring no seasonal adjustments for temperatures from 120° F (49° C) to -30° F (-35° C).
  - .13 Pinion shaft minimum diameter of 1 1/16".
  - .14 Hydraulic regulation controlled by tamper-proof, non-critical screw valves, adjustable with a hex wrench. Separate adjustments for backcheck, general speed, and latch speed. Backcheck shall be properly located for protection of the door, frame, and applied hardware.
  - .15 Forged steel main arms. Forged steel main and forearms at PA application. Arms at PA location shall be vandal proof design. Any PA arm that can be taken apart in the field shall not be acceptable.
8. Push/Pull Plates – Ives (Rocwood Mfg., Baldwin) Except As Indicated In Hardware Types Furnish:
- .1 Push Plate #8200 3-1/2" x 15"
  - .2 Pull Plate #8305-8 3-1/2" x 15"
9. Kickplates – Ives 8400 Series (Rockwood Mfg., Baldwin)
- .1 (.051") thick.
  - .2 8" high except as noted.
  - .3 Width of door less 2" on push side.
  - .4 Width of door less 1/2" on pull side.

- .5 Width of door less 6" on doors with surface vertical rods.
- 10. Stops – Ives, (Rockwood Mfg.)
  - .1 FS436 floor stops at all doors EXCEPT: WS407CVX where knob contacts wall or Glynn-Johnson (Rixson) 90/450 series OH Stop where floor and wall stops are impractical.
- 11. Overhead Door Holders – Glynn Johnson 90/450 Series (Rixson)
- 12. Thresholds – Wooster, National Guard (Pemko, Zero, Reese)
  - .1 Furnish #115-4" Alumogrit - notched for stops except as noted or detailed otherwise.
  - .2 Furnish stainless steel screws and lead anchors for fastening.
- 13. Sweepstrips – Zero (National Guard C607, Reese 964)
  - .1 Nylon Brush type 8192 x width of door
  - .2 Polypropylene UNACCEPTABLE
- 14. Weatherstripping – Zero, (National Guard A625, Reese 961)
  - .1 Nylon brush type 8305 – head & jamb, except as noted
  - .2 Polypropylene UNACCEPTABLE
- 15. Soundproof Gasketing – Zero (National Guard, Reese)
  - .1 Wherever soundproofing is shown or listed in the specifications or drawings, furnish:
    - .1 170 adjustable gasketing – mitered at head and jambs
    - .2 361 automatic door bottom
- 16. Manual Flush Bolts – Ives (Door Controls, Rockwood Mfg.) FB458
- 17. Automatic Flush Bolts – Ives (Door Controls, Rockwood Mfg.)
  - .1 FB30 (metal doors) FB40 (wood doors)
  - .2 Furnish DP2 dustproof strike at bottom bolt
- 18. Self-Latching Bolts - Ives (Door Controls, Rockwood Mfg.)  
FB50 (metal doors), FB60 (wood doors)
  - .1 Furnish DP2 dustproof strike at bottom bolt
- 19. Coordinators - Ives (Door Controls, Rockwood Mfg.)
  - .1 Furnish C O R Series with required brackets and CB-1 carry bar.

- 20. Electromagnetic Stops & Holder – LCN SEM Series, (Rixson, Dorma)
- 21. Astragals – Zero (National Guard, Reese)
  - .1 8194 at meeting stiles – at fire rated wood doors
- 22. Smoke Gasketing – Zero (National Guard, Reese)
  - .1 188S stick on silicone – head & Jamb

PART 3 - EXECUTION

3.01 HARDWARE SCHEDULE

SpeXtra: 344530

HW Set 01

1	EA	CONT. HINGE	224HD EPT	628	IVE
1	EA	ELEC PANIC HARDWARE	RX-EL-SD-99-NL-CON	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 SCUSH MC TBTORX	689	LCN
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER
1	EA	WIRE HARNESS	CON-6W		VON
1	EA	POWER SUPPLY	PS914 900-BBK 900-2RS	LGR	VON
1			PROVIDE FACTORY POINT TO POINT WIRING DIAGRAMS		
1			PROVIDE RISER DIAGRAMS		

Integral flush pull and recessed adjustable door bottom by door and frame mfr.  
 Card reader and door contact my Owner.

HW Set 02

2	EA	CONT. HINGE	224HD EPT	628	IVE
1	EA	POWER TRANSFER	EPT10 CON	689	VON
2	EA	MANUAL FLUSH BOLT	FB458	626	IVE
1	EA	EU MORTISE LOCK	L9092TEU 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 HCUSH SRI MC TBTORX	689	LCN
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER

2	EA	WIRE HARNESS	CON-6W		VON
1			PROVIDE FACTORY POINT TO POINT WIRING DIAGRAMS		
1			PROVIDE RISER DIAGRAMS		

Integral recessed adjustable door bottom by door and frame mfr.  
 Card reader and door contact by Owner.  
 Theory of operation: Doors normally latched and locked. Lever rigid. Proper credential to reader release lever allowing latch to be retracted.  
 Free egress at all times.

HW Set 03

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	SET	AUTO FLUSH BOLT	FB31P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 04

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	OFFICE/ENTRY LOCK	L9050T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 05

3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	CLASSROOM SECURITY	L9071T 17L	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN

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1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 06

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	PRIVACY LOCK	L9040 17L L583-363	626	SCH
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 07

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	CLASSROOM SECURITY	L9071T 17L	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 08

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 09

3	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH



1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 10

6	EA	HW HINGE	5BB1HW 4.5 X 4.5	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
1	EA	OH STOP	100S	630	GLY
1	EA	SURFACE CLOSER	4011 MC ST-1544 TBTORX	689	LCN
1	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
1	EA	MOUNTING PLATE	4020-18	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 11

1	EA	CONT. HINGE	224HD EPT	628	IVE
1	EA	ELEC PANIC HARDWARE	RX-EL-SD-99-NL-CON	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	429A	A	ZER
1	EA	DOOR SWEEP	8198AA	AA	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER
1	EA	WIRE HARNESS	CON-6W		VON
1	EA	POWER SUPPLY	PS914 900-BBK 900-2RS	LGR	VON
1			PROVIDE FACTORY POINT TO POINT WIRING DIAGRAMS		
1			PROVIDE RISER DIAGRAMS		

HW Set 12

HARDWARE BY DOOR  
 MANUFACTURER

HW Set 13

6	EA	HW HINGE	5BB1HW 4.5 X 4.5	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
1	EA	OH STOP	100S	630	GLY
1	EA	SURFACE CLOSER	4011 MC ST-1544 TBTORX	689	LCN
1	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
1	EA	MOUNTING PLATE	4020-18	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 14

6	EA	HW HINGE	5BB1HW 4.5 X 4.5	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	OH STOP	100S	630	GLY
2	EA	SURFACE CLOSER	4011 MC ST-1544 TBTORX	689	LCN
2	EA	MOUNTING PLATE	4020-18	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 15

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE

1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 16

3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 17

3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 18

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 19

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 20

1	EA	CONT. HINGE	224HD	628	IVE
1	EA	FIRE EXIT HARDWARE	99-L-F-2-17-SNB	626	VON
2	EA	RIM CYLINDER	20-057-ICX	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 21

3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	DBL CYL STORE W/DB	L9466T 17L	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 22

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	OFFICE/ENTRY LOCK	L9050T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 23

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 24

6	EA	HW HINGE	5BB1HW 4.5 X 4.5	652	IVE
1	SET	CONST LATCHING BOLT	FB51P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 25

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
2	EA	FIRE EXIT HARDWARE	99-L-F-17-499F-SNB	626	VON
2	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
3	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 26

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED REMOVABLE MULLION	KR4954	689	VON
1	EA	PANIC HARDWARE	CD-99-DT-SNB	626	VON
1	EA	PANIC HARDWARE	CD-99-NL-SNB	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
3	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
4	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
2	EA	FIRE/LIFE WALL MAG	SEM7830	689	LCN
2	EA	SILENCER	SR64	GRY	IVE

Doors can be held open by wall magnets.  
 Locate wall magnets to insure contact with door armatures without modification.  
 Free egress at all times.

HW Set 27

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED REMOVABLE MULLION	KR4954	689	VON
1	EA	PANIC HARDWARE	CD-99-DT-SNB	626	VON
1	EA	PANIC HARDWARE	CD-99-NL-SNB	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
3	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
4	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	WALL STOP	WS406/407CVX	630	IVE
2	EA	SILENCER	SR64	GRY	IVE

HW Set 28

1	EA	CONT. HINGE	224HD	628	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 SCUSH MC TBTORX	689	LCN
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER

Integral recessed adjustable door bottom by door mfr.

HW Set 29

1	EA	CONT. HINGE	224HD	628	IVE
1	EA	PANIC HARDWARE	CD-99-NL-SNB	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 30

2	EA	CONT. HINGE	224HD EPT	628	IVE
2	EA	POWER TRANSFER	EPT10 CON	689	VON
1	EA	KEYED REMOVABLE MULLION	KR4954	689	VON
1	EA	ELEC PANIC HARDWARE	RX-CD-99-EO-CON	626	VON
1	EA	ELEC PANIC HARDWARE	RX-EL-SD-99-NL-OP-110MD-CON	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
3	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
4	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 SCUSH MC TBTORX	689	LCN
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER
2	EA	WIRE HARNESS	CON-6W		VON
1	EA	POWER SUPPLY	PS914 900-BBK 900-2RS	LGR	VON
1			PROVIDE FACTORY POINT TO POINT WIRING DIAGRAMS		
1			PROVIDE RISER DIAGRAMS		

Integral flush pulls and recessed adjustable door bottom by door mfr.

Card reader and door contact by Owner.

Theory of operation: Doors normally latched and locked. Lever rigid. Proper credential to reader retracts latch on active (RHR) leaf.

Free egress at all times.

HW Set 31

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
2	EA	FIRE EXIT HARDWARE	99-L-F-2-17-499F-SNB	626	VON
4	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
5	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER
2	EA	MEETING STILE	8194AA	AA	ZER

HW Set 32

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
2	EA	FIRE EXIT HARDWARE	99-EO-F-499F-SNB	626	VON
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER
2	EA	MEETING STILE	8194AA	AA	ZER

HW Set 33

6	EA	HW HINGE	5BB1HW 4.5 X 4.5	652	IVE
1	SET	CONST LATCHING BOLT	FB61P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	OH STOP	90S	630	GLY
2	EA	SURFACE CLOSER	4011 MC ST-1544 TBTORX	689	LCN
2	EA	MOUNTING PLATE	4020-18	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER
2	EA	MEETING STILE	8194AA	AA	ZER



HW Set 34

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
1	EA	FIRE EXIT HARDWARE	99-EO-F-SNB	626	VON
1	EA	FIRE EXIT HARDWARE	99-L-F-2-17-SNB	626	VON
2	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
3	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER
1	EA	MEETING STILE	8194AA	AA	ZER

HW Set 35

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	OFFICE/ENTRY LOCK	L9050T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	OH STOP	90S	630	GLY
1	EA	SURFACE CLOSER	4011 MC ST-1544 TBTORX	689	LCN
1	EA	MOUNTING PLATE	4020-18	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 36

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	CLASSROOM SECURITY	L9071T 17L	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	OH STOP	90S	630	GLY
1	EA	SURFACE CLOSER	4011T BUMP MC ST-1736 TBTORX	689	LCN
1	EA	MOUNTING PLATE	4020-18	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

HW Set 37

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 38

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4011 MC TBTORX	689	LCN
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 39

2	EA	CONT. HINGE	112HD EPT	628	IVE
2	EA	POWER TRANSFER	EPT10 CON	689	VON
1	EA	KEYED REMOVABLE MULLION	KR4954	689	VON
1	EA	ELEC PANIC HARDWARE	LX-RX-EL-SD-99-NL-CON	626	VON
1	EA	ELEC PANIC HARDWARE	RX-CD-99-DT-CON	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
3	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
4	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	OH STOP	100S	630	GLY
1	EA	SURFACE CLOSER	4111 EDA MC TORX	689	LCN
1	EA	SURF. AUTO OPERATOR	4642 TORX	689	LCN
1	EA	WEATHER RING	8310-800	BLK	LCN
1	EA	ACTUATOR, WALL MOUNT	8310-855	630	LCN
1	EA	ACTUATOR, WALL MOUNT	8310-856T	630	LCN
1	EA	FLUSH MOUNT BOX	8310-867F	689	LCN
1	EA	FLUSH MOUNT BOX	8310-868F	689	LCN
2	EA	DOOR SWEEP	8198AA	AA	ZER
1	EA	THRESHOLD	655A-MSLA-10	A	ZER
2	EA	WIRE HARNESS	CON-6W		VON
1	EA	POWER SUPPLY	PS914 900-BBK 900-2RS	LGR	VON
1			PROVIDE FACTORY POINT TO POINT WIRING DIAGRAMS		
1			PROVIDE RISER DIAGRAMS		

Integral weatherstrip by door and frame mfr.  
 Card reader and door contact by Owner.  
 Dual Vestibule actuator shared with inner Vestibule door.  
 Theory of operation: Doors normally latched and locked. Outside actuator disabled. From exterior, proper credential to reader retracts latch on active leaf (RHR) and enables outside actuator. Pressing actuator initiates automatic operation, independent of inner vestibule door. For exiting, Vestibule actuator enabled. Pressing actuator retracts latch and initiates automatic operation. During open hours, both latches held retracted in the dogged position. Pressing either actuator initiates automatic operation, independent of inner Vestibule door.  
 Free egress at all times.

HW Set 40

2	EA	CONT. HINGE	112HD	628	IVE
2	EA	DUMMY PUSH BAR	330	626	VON
2	EA	TRIM	990-DT	626	VON
2	EA	OH STOP	100S	630	GLY
1	EA	SURFACE CLOSER	4111 EDA MC TORX	689	LCN
1	EA	SURF. AUTO OPERATOR	4642 TORX	689	LCN
1	EA	ACTUATOR, WALL MOUNT	8310-856T	630	LCN
1	EA	FLUSH MOUNT BOX	8310-868F	689	LCN

Dual Vestibule actuator shared with exterior door.  
 Theory of operation: Push-pull doors always free. Pressing either actuator initiates automatic operation, independent of exterior door.

HW Set 41

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
1	EA	FIRE EXIT HARDWARE	99-EO-F-499F-SNB	626	VON
1	EA	FIRE EXIT HARDWARE	99-L-F-17-499F-SNB	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
2	EA	FIRE/LIFE WALL MAG	SEM7850	689	LCN
1	EA	GASKETING	188S-BK	S-Bk	ZER
1	EA	MEETING STILE	8194AA	AA	ZER

Doors can be held open by wall magnets. Locate wall magnets to insure contact with door armatures without modification.  
Automatic release upon smoke/fire alarm activation.

HW Set 42

2	EA	CONT. HINGE	112HD EPT	628	IVE
2	EA	POWER TRANSFER	EPT10 CON	689	VON
1	EA	KEYED REMOVABLE MULLION	KR4954	689	VON
2	EA	ELEC PANIC HARDWARE	RX-CD-99-DT-CON	626	VON
3	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
3	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	OH STOP	100S	630	GLY
2	EA	SURFACE CLOSER	4111 EDA MC TORX	689	LCN
2	EA	DOOR SWEEP	8198AA	AA	ZER
1	EA	THRESHOLD	655A-MSLA-10	A	ZER
2	EA	WIRE HARNESS	CON-6W		VON

Integral weatherstrip by door and frame mfr.

HW Set 43

2	EA	CONT. HINGE	112HD	628	IVE
2	EA	DUMMY PUSH BAR	330	626	VON
2	EA	TRIM	990-DT	626	VON
2	EA	OH STOP	100S	630	GLY
1	EA	SURFACE CLOSER	4111 EDA MC TORX	689	LCN

HW Set 44

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
2	EA	FIRE EXIT HARDWARE	99-L-F-17-499F-SNB	626	VON
2	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
3	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

2 EA MEETING STILE 8194AA AA ZER

HW Set 45

EXISTING DOOR, FRAME AND  
 HARDWARE TO REMAIN

HW Set 46

1	EA	CONT. HINGE	224HD EPT	628	IVE
1	EA	ELEC PANIC HARDWARE	RX-EL-SD-99-NL-CON	626	VON
1	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	WALL STOP	WS406/407CVX	630	IVE
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER
1	EA	WIRE HARNESS	CON-6W		VON
1	EA	POWER SUPPLY	PS914 900-BBK 900-2RS	LGR	VON
1			PROVIDE FACTORY POINT TO POINT WIRING DIAGRAMS		
1			PROVIDE RISER DIAGRAMS		

Integral flush pull and recessed adjustable door bottom by door and frame mfr.  
 Card reader and door contact my Owner.

HW Set 47

EXISTING DOOR, FRAME AND  
 HARDWARE TO REMAIN

HW Set 48

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
2	EA	MANUAL FLUSH BOLT	FB458	626	IVE

1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	WALL STOP/HOLDER	FS495	626	IVE
2	EA	SILENCER	SR64	GRY	IVE

HW Set 49

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	SET	AUTO FLUSH BOLT	FB31P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	FIRE/LIFE WALL MAG	SEM7830	689	LCN
1	EA	GASKETING	188S-BK	S-Bk	ZER

Doors can be held open by wall magnets. Locate wall magnets to insure contact with door armatures without modification.  
 Automatic release upon smoke/fire alarm activation.

HW Set 50

3	EA	HINGE	5BB1 4.5 X 4.5	652	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	OH STOP	90S J	630	GLY
3	EA	SILENCER	SR64	GRY	IVE

HW Set 51

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
2	EA	FIRE EXIT HARDWARE	99-L-F-2-17-499F-SNB	626	VON
4	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH

5	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
2	EA	FIRE/LIFE WALL MAG	SEM7850	689	LCN
1	EA	GASKETING	188S-BK	S-Bk	ZER

Doors can be held open by wall magnets. Locate wall magnets to insure contact with door armatures without modification.  
Automatic release upon smoke/fire alarm activation.

HW Set 52

3	EA	HW HINGE	5BB1HW 4.5 X 4.5	652	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4011T MC TBTORX	689	LCN
1	EA	WALL STOP	WS406/407CVX	630	IVE
3	EA	SILENCER	SR64	GRY	IVE

HW Set 53

3	EA	HINGE	5BB1 4.5 X 4.5 NRP	652	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
1	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	FIRE/LIFE WALL MAG	SEM7850	689	LCN
1	EA	GASKETING	188S-BK	S-Bk	ZER

Door can be held open by wall magnets. Locate wall magnet to insure contact with door armature without modification.  
Automatic release upon smoke/fire alarm activation.

HW Set 54

2	EA	CONT. HINGE	224HD	628	IVE
2	EA	PANIC HARDWARE	9927-EO-LBR	626	VON
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	FIRE/LIFE WALL MAG	SEM7830	689	LCN

Doors can be held open by wall magnets. Locate wall magnets to insure contact with door armatures without modification.  
Automatic release upon smoke/fire alarm activation.

HW Set 55

6	EA	HW HINGE	5BB1HW 4.5 X 4.5 NRP	652	IVE
1	SET	CONST LATCHING BOLT	FB61P	630	IVE
1	EA	DUST PROOF STRIKE	DP2	626	IVE
1	EA	CLASSROOM LOCK	L9070T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	COORDINATOR	COR X FL	628	IVE
2	EA	MOUNTING BRACKET	MB	689	IVE
2	EA	SURFACE CLOSER	4111 EDA MC TBTORX	689	LCN
2	EA	KICK PLATE	8400 8" X 1" LDW B-CS	630	IVE
2	EA	FIRE/LIFE WALL MAG	SEM7850	689	LCN
1	EA	GASKETING	188S-BK	S-Bk	ZER

Doors can be held open by wall magnets. Locate wall magnets to insure contact with door armatures without modification.  
Automatic release upon smoke/fire alarm activation.

HW Set 56

1	EA	CONT. HINGE	224HD	628	IVE
1	EA	DBL CYL STORE W/DB	L9466T 17L	626	SCH
2	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	SURFACE CLOSER	4111 SCUSH MC TBTORX	689	LCN
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER

Integral recessed adjustable door bottom by door and frame mfr.  
Door contact by Owner.

HW Set 57

2	EA	CONT. HINGE	224HD	628	IVE
2	EA	MANUAL FLUSH BOLT	FB458	626	IVE
1	EA	STOREROOM LOCK	L9080T 17L	626	SCH
1	EA	FSIC CORE	23-030 EV29 T	626	SCH
1	EA	OH STOP & HOLDER	90H	630	GLY



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1	EA	SURFACE CLOSER	4111 SHCUSH MC TBTORX	689	LCN
1	EA	GASKETING	429A	A	ZER
1	EA	THRESHOLD	656A-MSLA-10	A	ZER

HW Set 58

2	EA	CONT. HINGE	224HD	628	IVE
1	EA	KEYED FIRE RATED REMOVABLE MULLION	KR9954	689	VON
2	EA	FIRE EXIT HARDWARE	99-L-F-2-17-499F-SNB	626	VON
4	EA	RIM CYLINDER	20-057-ICX	626	SCH
1	EA	MORTISE CYLINDER	20-091-ICX	626	SCH
5	EA	FSIC CORE	23-030 EV29 T	626	SCH
2	EA	SURFACE CLOSER	4111 CUSH MC TBWMS	689	LCN
2	EA	KICK PLATE	8400 8" X 1 1/2" LDW B-CS	630	IVE
1	EA	GASKETING	188S-BK	S-Bk	ZER

END OF SECTION

## SECTION 09 7000

### GLASS FIBER CONCRETE PANEL INTERIOR WALL FINISHING SYSTEM

#### PART 1 –GENERAL

##### 1.1 SUMMARY

- A. Work Included: The Work of this Section shall include but not be limited to the following:
  - 1. Support system
  - 2. Extruded Glass Fiber Concrete Panels
  
- B. Related Sections:
  - 1. Section 03 3000 – Cast in Place Concrete
  - 2. Section 05 1200 – Structural Steel Framing
  - 3. Section 05 5000 – Metal Fabrications
  - 4. Section 06 1000 – Rough Carpentry
  - 5. Section 07 2100 – Building Insulation
  - 6. Section 07 2500 – Weather Barriers
  - 7. Section 07 6200 –Sheet Metal Flashing and Trim
  - 8. Section 07 8400 – Firestopping
  - 9. Section 07 9200 – Joint Sealants
  - 10. Section 08 4113 –Aluminum-Framed Entrances and Storefront

##### 1.1 DESIGN REQUIREMENTS

- A. Design and install Fibre Concrete Cladding and attachment system.
  - 1. SYSTEM DESIGN - System design shall be responsibility of cladding supplier. Products provided must conform with design intent shown.
    - a. PANEL SYSTEM: A complete pre-engineered system including but not limited to Glass Fibre Concrete cladding and aluminum support structure. Wall panels shall be removable. Fasteners are concealed. The panels shall be secured to a metal support structure which secures to cold-formed metal framing, CMU or concrete substrate.
    - b. JOINTS: shall be dry and un-caulked
  - 2. Contractor shall be responsible for engineering system per architectural design criteria and performance requirements.

##### 1.2 PERFORMANCE REQUIREMENTS

- A. Withstand design loads as required by applicable codes for Project location and as follows.
  - a. Maximum panel deflection: 1/360 of span or less of span when tested in accordance with positive and negative pressures and as required to prevent cracking or damage to panel facing.
  - b. Comply with applicable seismic requirements for Project location.
- B. Accommodate movement of cladding components without undue stress on fasteners or other detrimental effects, when subjected to seasonal temperature range of:
  - 1. Ambient: 120 degrees F.
  - 2. Cladding surface: 180 degrees F.
  - 3. Accommodate tolerances of support structure.

- C Flatness: System shall be flat with no noticeable warpage, buckling, deflections or other surface irregularities
- D Color must be throughout, topical coatings will not be accepted.
- E Must be extruded product, cast products will not be accepted.

#### 1.4 SUBMITTALS

- A. Provide in accordance with Section 01 3219 - Submittal Procedures:
  - 1. Product data describing materials and fabrication for Glass Fiber Concrete Panels
  - 2. Product data describing materials and fabrication for Aluminum Attachment System and components.
  - 3. Shop drawings showing:
    - a. Layout, profiles and dimensions for panels, product components, edge conditions, special shapes, and trim pieces.
    - b. Installation details: Attachment methods, fasteners, joints, corners, openings, intersections with adjacent materials, trim, and other critical conditions.
    - c. Layout of Glass Fiber Concrete Panels on wall and locations of special pieces and trim.
  - 4. Structural calculations signed and sealed by a professional engineer registered in the State of New York.
  - 5. Samples (3 sets each):
    - a. 3 ½" x 5" minimum color samples for review by Architect.
    - b. 4 inches minimum length of attachment profile.
    - c. Typical attachment brackets and anchors for project.
    - d. Typical exposed fasteners (painted to match concrete panel) for project.
  - 6. Manufacturer's installation and maintenance instructions.

#### 1.5 QUALITY ASSURANCE

- A. System Manufacturer's Qualifications: Provide exterior wall system manufactured by a firm experienced in manufacturing systems that are similar to those indicated for this project and have a record of successful in-service performance.
- B. Installer qualifications: Company experienced in installing interior wall cladding systems and acceptable to Glass Fiber Concrete Panel and Aluminum Support System suppliers.

#### 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Prior to shipping, pack and crate Glass Fiber Concrete Panel System components to prevent damage during transit and storage. During transport, handle the panels with special care taken not to damage the edges of the sheets.
- B. Inspect Fiber Concrete Cladding Panels and Aluminum Attachment components immediately upon delivery at site. Notify manufacturer of damage prior to installation of materials.

- C. Follow manufacturer's instructions for storage of Glass Fiber Concrete Panels. Keep pieces in original packing material until ready to install.
- D. Do not store exterior wall system components in contact with other materials that might cause staining, denting, surface damage, or other deleterious effects.

## 1.7 WARRANTY

- a. Warrant the Glass Fiber Concrete Panel of this section for a period of 10 years from the date of substantial completion against defects in material.
- b. Warrant the workmanship for this Section for a period of 2 years from the date of substantial completion against defects in the workmanship.

## PART 2 - PRODUCTS

### 2.1 ACCEPTABLE MANUFACTURERS

- A. Subject to compliance with requirements, manufacturer of exterior wall panels for Glass Fiber Concrete Cladding Rainscreen system is:
  - 1. fibre C Glass Fibre Concrete Skin, as manufactured by Rieder Smart Elements  
[www.rieder.cc](http://www.rieder.cc) (Basis of Design)
  - 2. FormGlas Products Ltd.
  - 3. Plasterform

### 2.2 MATERIALS

- A. **fibre C extruded, fiber reinforced concrete panel**
  - 1. Panels: Glass fibre concrete panels made from pure mineral raw materials, (sand cement, and water). Reinforced through AR ( alkali-resistant) glass fibers as continuous linear glass fibre strands and short fibres in matrix.
    - a. Colors:
      - i. As selected from Manufacturers available colors.
    - b. Surface types
      - i. Matte
    - c. Surface treatment:
      - i. Hydrophobic Glossy
    - d. Thickness:
      - i. 1/2" thickness
    - e. Dimensional Tolerances:
      - i. Length +/- 2mm, Width +/- 2mm, Thickness +/- 1mm
- B. **Aluminum Support Structure - Concealed Fastener System**
  - 1. Horizontally oriented Concealed fastener system using Keil fasteners as recommended by Rieder.
  - 2. Support Bracket –Monarch Metal MFSTR-1125 Clip system
    - a. Bracket anchored directly through wall substrate into back up.

- b. Opposing Bracket anchored to back of wall panel.
3. Fasteners: Corrosion resistant fasteners and anchors of type, size, and spacing required for type of substrate and Project conditions, to meet performance requirements specified in Paragraph 1.4, and as indicated in design calculations. Keil fasteners shall be proper size and diameter for design loads.

### **PART 3 - EXECUTION**

#### **3.1 WALL COVERING INSTALLATION**

- A. Install cladding in accordance with manufacturer's instructions and approved shop drawings.
- B. Establish level lines for panel coursing and positioning of support rails.
- C. Support brackets: Attach brackets with engineered fasteners and anchors to accomplish performance requirements specified in Paragraph 1.3.
  - 1. Attach brackets to substrate at a distance as recommended by system suppliers in accordance with lateral loads and system dead load requirements.
  - 2. Provide 1 of space between ends of adjacent rails for expansion and contraction of aluminum.
- D. Glass Fiber Concrete Panels: Starting at bottom of wall, fasten panels by fastening into vertical aluminum profile at location of predrilled holes in glass fiber concrete panels
  - 1. Layout work so as to avoid or minimize cuts. Site cut composite wood panels using power saw with appropriate blade type to prevent broken corners, edges, and chips.
  - 2. Stack Bond Joint Pattern - Install panels with continuous vertical and horizontal joints (unless otherwise noted on drawings). Vertical and horizontal joints shall be open approximately 3/16 inch wide.
  - 3. Tolerances: Shim and align composite wood panels to provide these tolerances:
    - a. Deviations form level or plumb alignment: 1/4 inch in 20 feet maximum, non accumulative.

#### **3.2 CLEANING AND PROTECTION**

- A. Remove and replace broken, chipped, stained, or otherwise damaged panels.
- B. Immediately after installing, wipe down work. Do not use wire brushes, metallic tools, or abrasives for cleaning.
- C. Protect cladding from sealants, bitumen, and other contaminants from remaining construction activities.
- D. Without damaging completed work, provide protective boards at exposed external corners which may be damaged by construction activities.

**END OF SECTION**

## SECTION 283102.20

### ANALOG ADDRESSABLE FIRE ALARM SYSTEM

#### PART 1 - GENERAL

##### 1.1 WORK INCLUDED

- A. Provide labor, materials, equipment and services to perform operations required for the complete installation of a fully operational analog addressable fire alarm system and related Work as described in the Contract Documents.
- B. Provide system as approved by local Fire Marshal and the Authority Having Jurisdiction (AHJ). System materials and installation shall be in accordance with the manufacturer's recommendations.

##### 1.2 QUALITY ASSURANCE

- A. All methods of construction, details of workmanship that are not specifically described or indicated in the contract documents, shall be subject to the control and approval of the Owner's Representative. Equipment and materials shall be of the quality and manufacture indicated in their respective sections of the specifications. The equipment specified is based upon the acceptable manufacturers listed. Equipment types, device ratings, dimensions, etc. correspond to the nomenclature dictated by those manufacturers. All equipment shall be tested at the factory. Unless specified elsewhere, standard factory inspection and operational tests will be acceptable.
- B. Installation shall be in accordance with NFPA-70 (National Electrical Code), NFPA-72 (National Fire Alarm Code), AHJ, state codes, local codes, requirements of authority having jurisdiction and the contract documents. Installer shall be certified in the State of New York for fire alarm installation.
- C. Equipment shall be designed, manufactured, assembled, and tested in accordance with the latest revisions of applicable published UL, NFPA, ANSI, NEMA and IEEE Standards. All system equipment shall be compatible and of the same manufacturer.
- D. Each item of the fire alarm system shall be listed as a product of a single fire alarm system manufacturer and shall bear the UL Label.
- E. System installation shall be under the supervision of an accredited factory representative. Final connections to the FACP, annunciator panel and any other panels shall be by the factory representative.
- F. The system provider must:
  - 1. Provide equipment from a single manufacturer for which they maintain a contract, distributorship, are an agent, or other formal arrangement for which documentation can be produced showing authority to sell and service the equipment in this territory.

2. Demonstrate that they have successfully installed these systems, utilizing their standard products, for a period of five (5) years minimum.
3. Maintain a service organization to provide both normal and emergency service. Emergency service must be available 24 hours per day, 365 days per year and staff must be adequate to respond within 2 hours of an emergency call.
4. Have a service location not more than 50 miles from the project location.
5. Maintain adequate spare parts inventory to provide both normal and emergency service.
6. Employ service technicians who are trained in accordance with the systems manufacturer's recommendations.
7. Own and demonstrate proficiency in the use of the required test equipment, tools, etc. for the proper installation, set-up, testing and maintenance of the system. If requested, provide a listing of tools and/or equipment and where appropriate, certifications in the proper training and use of the tools and/or equipment.
8. Provide all system programming to deliver a customized system to the Owner ready for use.
9. All system programming is to be completed to the satisfaction of the Owner. If after preliminary use of the system, and/or training, the increased understanding of the system's features and capabilities necessitates reprogramming to any extent, it is to be performed at no additional cost.
10. Provide a minimum of two system inspections/tests each year during the warranty period as described in NFPA 72. Needed and requested system programming changes shall be provided at these times.
11. Warranty period shall be as described elsewhere with two years being minimum. Provide a service contract for the Owner review for two years beyond the warranty period. Warranty shall include all parts, materials, labor, transportation, etc.

### 1.3 SYSTEM DESCRIPTION

- A. The system shall constantly monitor all initiation devices and notification circuits for any abnormalities or alarm conditions. System shall sample/poll each addressable device no less than every 10 seconds.
- B. The system operation subsequent to the alarm activation by any initiating device (manual station, automatic detector, sensor, sprinkler flow switch, etc.) shall be as follows:
  1. All audible alarm notification appliances within corresponding building or designated area shall provide a common audible fire alarm signal until the System Reset Key or the Signal Silence Key is depressed.

2. All visual alarm notification appliances shall flash continuously and synchronized until the system is reset or silenced.
  3. The municipal box shall be activated notifying the fire department.
  4. Shutdown of the corresponding HVAC system equipment shall occur with a supervisory alarm until the system is reset. All fans over or 1,000cfm shall be shut down.
  5. Activation of all programmed outputs assigned to the initiating device shall occur until the system is reset or the silence key is depressed.
  6. The alarm shall be displayed at the local Fire Alarm Control Panel (FACP) and the fire alarm annunciator panel.
  7. The system alarm LED shall flash on the control panel and the fire alarm annunciator panel until the alarm has been acknowledged/reset. Once acknowledged, this same LED shall latch on. A subsequent alarm received shall flash the system alarm LED on the control panel and annunciator. The LCD display shall show the new alarm information.
  8. A pulsing audible alarm tone shall occur within the local building control panel and, where applicable, the fire alarm annunciator panel until the event has been acknowledged.
  9. Alarms shall be entered into the system event log history.
  10. Refer to Appendix A for operational/sequence matrix.
- C. Any subsequent alarm shall follow the operation described above.
- D. The activation by any system smoke detector or sensor shall initiate an alarm verification operation whereby the panel will reset the activated detector and wait for a second alarm activation. If, within a preset time after resetting, a second alarm is reported from the same or any other smoke detector, the system shall process the alarm as described previously. If no second alarm occurs within the prescribed time, the system shall resume normal operation. The alarm verification shall operate only on smoke detector alarms. Other activated initiating devices shall be processed immediately. The alarm verification operation shall be selectable by device.
- E. A manual evacuation (drill) switch shall be provided to operate the alarm notification appliances without causing other control circuits to be activated. However, should an actual alarm occur, all alarm functions shall occur as described previously.
- F. The system shall have a password(s) to allow the operator to display all alarms, troubles, and supervisory service conditions log history including the time of each occurrence. This shall be able to be viewed from the front of the control panel, annunciator panel or from a computer connected to the FACP.



- G. The actuation of the " walk test" program at the control panel shall activate the "Walk Test" mode of the system which shall cause the following to occur:
1. The remote central monitoring station connection shall be bypassed.
  2. Only audible and visual appliances shall be operated. Other alarm functions (elevator recall, HVAC shutdown, etc.) shall not be affected.
  3. Walk test shall be selectable by circuit or circuits.
  4. Actual alarms received during a "Walk Test" shall cause the control panel to go into alarm and override the walk test mode.
  5. The control panel shall show trouble conditions.
  6. The walk test activation of any initiation device shall cause the audible signals to activate for two seconds or a distinguishable audible.
  7. The panel shall automatically reset itself after signaling is complete.
  8. The control panel shall automatically return to normal condition if there is no activity on a walk test circuit for a period of 30 minutes.
- H. Any momentary opening of an initiating or notification appliance circuit wiring shall cause an audible signal to sound at the Fire Alarm Control Panel and, where applicable, the annunciator panel for four seconds indicating a trouble condition.
- I. Elevator Operation:
1. Provide the following equipment as a minimum and as indicated on the drawings:
    - a. Smoke detection in the elevator equipment room.
    - b. Smoke detection at each elevator lobby.
    - c. Smoke detection in the elevator shaft if a smoke hatch.
    - d. Heat detection in the equipment room and shaft (high and low) if a sprinkler system is in the area. Detectors shall be within 2 ft. of the individual sprinkler heads.
    - e. Detection devices located in elevator lobbies, elevator hoistways and elevator machine rooms shall be used for elevator recall. Hoistway and equipment room heat detection shall initiate power shut down prior to water flow. Operation shall be in accordance with ASME A17.1, Safety Code for Elevators and Escalators. Signals shall be provided to the elevator controls for main level lobby alarm, any lobby alarm, elevator equipment room alarm and elevator hoistway alarm as a minimum.

Provide addressable control modules for the signals to the elevator controls.

- J. Alarm initiation of a detector associated with a smoke hatch or fire barrier shall initiate a system alarm. Also, provide connections between the auxiliary contacts on the detectors or addressable control module and the associated smoke hatches and fire barriers such that the smoke hatch or fire barriers will be operated upon its respective detector activation. Provide power supplies, wiring and accessories for fire alarm system and all supervisory functions required for proper smoke hatch and fire barriers operation.
- K. Duct mounted smoke detectors associated with duct dampers shall have an addressable control module to operate the duct damper. In the event of an alarm initiation by the duct mounted smoke detector or the associated air handling unit/fan shut down the duct damper shall be closed. Control wiring shall be provided to shut the damper(s) when the associated air handling unit is not operational. Provide power supplies, wiring and accessories as needed for this operation.
- L. Provide wiring and equipment such that alarm initiation of a heat detector located in the elevator machine room and/or the elevator shaft shall provide suitable voltage from the fire alarm control panel to be applied to the shunt trip coil of the elevator's supply circuit breaker. No fire alarm devices except the heat detectors in the elevator machine rooms and shaft shall cause this. Also, alarm initiation of these heat detectors shall initiate the system alarm functions described above. Provide an addressable control module with a Form C contact at the elevator controllers, which shall be normally closed and shall open upon alarm initiation of any of these heat detectors; this contact shall be used to disconnect the battery-powered emergency return unit if so equipped with the use of a relay suitable for the emergency power circuit. Also, provide an auxiliary contact on the main line disconnect switch (four pole unit) and two (2) #12 in conduit to the elevator controller from this contact for the same purpose.
- M. Provide a minimum of two Form C contacts at the building's fire alarm control panel. This contact shall activate upon activation of any fire alarm initiating device.
- N. Supplementary Remote Annunciation Network: System shall be compatible and report all status via Owner's LAN to existing master offsite networked fire alarm system. Signal shall be supplementary and not be in lieu of code required monitoring services.

#### 1.4 SUPERVISION

- A. The system shall utilize independently supervised initiation device circuits. The alarm activation of any initiation device shall not prevent the subsequent alarm operation of any other initiation device.
- B. Notification appliance circuits shall be supervised to indicate an open or short circuit condition.

- C. The incoming power to the system shall be supervised so that any power failure must be audible and visually indicated at the control panel and the remote annunciator. A green "power on" LED shall be displayed continuously while incoming power is present. This shall be a trouble alarm.
- D. The system batteries shall be supervised so that a low battery condition or disconnection of the battery shall be audibly and visually indicated at the control panel and the remote annunciator. This shall be a trouble alarm.
- E. The system shall have provisions for disabling and enabling all circuits individually for maintenance or testing purposes.

#### 1.5 SUBMITTALS

- A. Provide a complete system submittal prior to ordering of equipment and installation including but not limited to:
  - 1. Complete equipment list.
  - 2. Catalog descriptive literature for all equipment. This shall include a description of the unit, ratings, functions, capability, materials and compatibility with other components.
  - 3. Riser Wiring Diagram showing all equipment, devices, device addresses, connections, control connections, remote notification connection(s), wire quantities and sizes.
  - 4. Floor plan indicating equipment and device locations, addresses, power circuit information with power panel location, notification circuiting, initiation circuiting, control circuiting and any system applicable building characteristics (ceiling heights, structural members impeding detection, etc.). Contact the Engineer for an electronic copy of the project floor plans. Engineer logo shall be included in final drawing.
  - 5. Typical Terminal Wiring Diagram for each type of device.
  - 6. Terminal wiring Diagram for all Fire Alarm equipment.
  - 7. Calculations including:
    - a. Battery sizing calculations indicating total number of power devices, load associated with each type device, backup period and recommended battery capacity (AH).
    - b. Voltage drop calculations with actual equipment loads used to derive battery back-up ampere-hour rating and individual circuit voltage drop (indicate the wire size to be used and the associated voltage drop with the allowed voltage drop) for each circuit.

8. Complete console enclosure and equipment configuration.
- B. If required by the Authority Having Jurisdiction (AHJ) provide a submission of all requested information for review and comment by the AHJ. All AHJ comments shall be incorporated and resubmitted until approved.
- C. Test reports at the completion of the project. Testing shall be of all system devices, equipment, circuits, features and functions.

## PART 2 - PRODUCTS

### 2.1 ACCEPTABLE MANUFACTURERS

- A. The project fire alarm system shall comply with and be in accordance with the drawings and specifications. All system equipment and materials shall be of the same manufacturer unless otherwise indicated. System and component acceptable manufacturers include the following unless otherwise indicated:

1. Simplex (Basis of Design)

### 2.2 FIRE ALARM SYSTEM

- A. The fire alarm system shall be comprised of the components specified as a minimum and also include components not indicated but required for a complete and operable system as described herein.
- B. The system and all its components shall be UL listed and in accordance with NFPA 72, local and state codes.
- C. The system shall have 25% spare capacity. This shall include all individual notification circuits, initiation circuits, initiating modules, alarm modules, power supplies, batteries, central processing unit memory and printed circuit card space. System initiation device and control device capacity shall be a minimum of the indicated percentage over the shown quantity or 250 whichever is greater.
- D. Each initiating device shall have an individual address for system communication. The system addresses shall not exceed seven digits. Each address, initiation circuit, notification circuit and control point shall have an individual identification description.
- E. System shall shut down all air handlers more than 1,000 cfm upon an alarm.

### 2.3 FIRE ALARM CONTROL PANEL (FACP)

- A. The system shall be entirely solid state, microprocessor based, use digital transmission and shall be field programmable. All system programming including field modifications shall be stored in non-volatile memory. Field modifications shall be automatically stored without special actions. The panel shall be designed and manufactured expressly for the intent to detect the presence of fire and to provide indication of such detection. Panel shall contain as a minimum power supply(s), control module, main control printed circuit board, initiation modules, notification modules, terminals and back up battery(s). Control module shall have 80 character backlit LCD display and twelve control buttons (four being field assignable), minimum. Display shall indicate the battery voltage at all times.
- B. The system shall be modular in design to allow for future expansion with a minimum of hardware additions.
- C. The FACP shall be located where shown on the drawings. Enclosures shall accept all system items for an aesthetically suitable operator's console. Enclosures shall be of modular size to allow surface mounting of multiple boxes adjacent to each other, shall have hinged solid metal doors and contain a lock with a key common to all system devices. Enclosure shall have a red finish.
- D. The FACP shall operate its integral LCD Display through an RS-232C port operating up to 9600 baud to indicate all operator transactions, alarms, trouble reports and any other conditions specified by system programming.
- E. Conditions of the system shall be indicated at the operator interface by LED's. These conditions shall be alarm, supervisory, trouble and alarm silenced. An LCD 2 line, 40 character per line display shall also be included. It shall display "SYSTEM IS NORMAL" with the date and time under normal circumstances. The LCD display shall also indicate type of alarm, point status, number of alarms and location. Through the use of function keys, historical data can also be displayed.
- F. The FACP shall include a password (three (3) levels of protection with individual passwords, minimum) protected key pad for access to programming, special functions and all system features.
- G. Any event initiated by the FACP due to an alarm input shall be retained in nonvolatile EPROM memory. The FACP shall also have sufficient memory for 1200 individual alarm/trouble events.
- H. The FACP shall have the following user connection types:
  - 1. Ethernet connection for a computer, personal data device or printer. Connection shall allow for programming changes, history download, setting review/changes, etc.
  - 2. RS 232 port for connection of a serial printer.
- I. Provide modules for network interfacing and off site monitoring.

- J. The FACP shall be equipped with a minimum of 24 hours of battery standby. The FACP shall be equipped with battery charging circuits sufficient to recharge fully depleted batteries to within 70% of the maximum capacity within 12 hours. When the system is operating on the battery supply, a trouble condition shall be generated. When utility power is restored, the system shall revert back to 120 VAC supply without any operator intervention.
- K. Design Equipment: Simplex 4100ES.

#### 2.4 EMERGENCY VOICE COMMUNICATION SYSTEM

- A. Provide a complete emergency voice communications system with audio evacuation system.
- B. The Emergency Communications Control Panel (ECCP) shall be alerted to incoming calls from any remote emergency telephone station by individual line flashing lamps for each station and a common audible signal. When the attendant picks up the master handset located in the ECCP, the audible signal shall be silenced, but each line lamp shall continue to flash until the call is answered by placing individual switches in the talk position. The line lamp for the answered call shall remain constantly illuminated until the attendant terminates the call. The attendant shall be able to communicate privately with an individual station or simultaneously with several stations as required by placing the individual line switches in the talk position.
- C. All wiring of the Emergency Voice Communication System shall be supervised. Open or short circuits shall report to the ECCP as trouble condition.
- D. In the event of normal power failure, the entire communications system shall automatically transfer to standby power source. Provide separate and dedicated power circuit(s) for the ECCP.
- E. Design Equipment: Simplex.

#### 2.5 AUDIO EVACUATION SYSTEM

- A. Notification speakers shall be located as shown on the drawings and shall be electrically supervised, and zoned as shown on the drawings. Minimum zoning shall be by floor. Provide zone selector switches, individual zone lamps, trouble lamp and test switch at the Emergency Communications Control Panel (ECCP). All-call capability shall be provided by operation of a single switch. Master microphone shall be located in the ECCP and shall have integral "press-talk" announcement. Signals shall automatically sound again upon lifting of "press-to-talk" switch at the end of the announcement.
- B. Provide an audible amplifier unit and locate within the ECCP. All components shall be solid state. Preamplifier shall contain microphone input and necessary tone and volume controls. Power amplifier shall be rated 100 watts minimum for suitable power rating for the indicated system, locations and ambient sound level while having the system spare capacity factor indicated and have a frequency response of 125-12,000 Hz. System shall provide intelligible voice communication throughout the project.

- C. Speakers shall be surface mounted, 4 in. size, 8 ohms impedance, 11 watts rating. Provide integral matching transformer for 70 volt line and with 0.25, 0.5, 0.75, 1.0 and 2 watt taps. Speakers shall have a steel housing, water-sealed compression driver, and baked epoxy finish. Color shall be red. Provide bi-directional or weatherproof mounting where shown on drawings.
- D. In the event of 120 VAC power failure, the entire audio evacuation system shall automatically transfer to the system standby power source.
- E. Design Equipment: Simplex.

## 2.6 VENTILATION FAN SHUTDOWN CONTROL

- A. Provide supervised normally closed relays and contactors for connection into the fan motor control circuits ahead of all automatic devices.
- B. Sequence fan shutdown for every air distribution system over 1000 cfm. Provide duct detectors in return of systems over 2,000 cfm and in both supply and return at each floor of systems over 15,000 cfm.
- C. Provide drill bypass feature, locate switch on Fire Alarm Control Panel and label "DRILL-FAN SHUTDOWN BYPASS". Buzzer shall sound continuously while in bypass mode.
- D. Provide fan reset feature, locate switch on Fire Alarm Control Panel and label "FAN RESET".

## 2.7 INITIATION DEVICES

- A. General:
  - 1. Provide analog addressable smoke and thermal sensors as shown. All detectors, control modules, monitor modules and all other initiation devices shall communicate with twisted pair cable and have an individual address. Peripheral devices shall be of the same manufacturer as the FACP.
  - 2. Spot type detectors shall utilize the same interchangeable bases.
  - 3. If a device is removed or taken out of service a trouble signal shall be initiated.
- B. Photo-Obscuration Type Smoke Detector:
  - 1. The photo-obscuration detector shall operate on the photo electronic principle and provide an analog signal to the system indicating the amount of smoke. Detector shall be an analog addressable type.

2. The detector shall incorporate a built in type identification so the system can identify the type of detector. The sensor shall be continually monitored to measure any change in their sensitivity because of the environment (dirt, smoke, temperature, humidity, etc.). Unit shall not be affected by exterior light or EMF.
3. The detector shall be designed and arranged to prevent interference from exterior electromagnetic fields and light.
4. The detector shall provide advance indication of the analog value of the products of combustion to the FACP indicating that maintenance is required in order to insure normal operation. The detector sensitivity shall be adjustable per device (within UL limits) and be set at the FACP for continuous or variable based on time of day. There shall be a minimum of six (6) selectable sensitivity levels. The individual detector sensitivity setting shall be adjusted to meet the building/space characteristics and operation.
5. Detectors shall be designed for twistlock mounting to a separate base assembly. Provide manufacturer's recommended back box suitable for surface mounting where required.
6. The detector base shall have terminals for making all connections; no soldering shall be required. It shall be possible to secure the detector to the base with a concealed socket headscrew to prevent unauthorized tampering.
7. Smoke detectors shall be UL 268 listed and FM approved.
8. All smoke detectors shall be field checked and set to meet the prevailing conditions of the premise and any Owner requests. All such work shall be performed by an authorized representative of the manufacturer trained in such procedures.
9. Photo-obscuration type smoke detection shall be used for smoke detection unless indicated otherwise indicated.

C. Projected Beam Photo Electric Smoke Detectors:

1. Microprocessor based beam type smoke detector consisting of a separate transmitter and receiver units. Units shall have individual system addresses and provide an analog signal based on the beam obscuration. Unit shall have a sensing range suitable for the intended location with capability up to 60 ft. x 320 ft. of detection area. Where an analog signal is not available provide an addressable initiation module for system interface.
2. Transmitter shall produce a crystal controlled infrared beam.
3. Shall have an adjustable time delay (up to 30 seconds) for momentary beam blockage. Alarm sensitivity shall be adjustable from 20 to 60%.



4. Shall initiate trouble alarm when dust obscures beam by 50%. Unit shall compensate for a gradual buildup of dust.
5. Installation with convenient beam alignment adjustments.
6. Provide with manufacturer surface mounting backbox for surface mounted locations.
7. Housing color to match the surrounding colors.
8. Operating voltage 18-32 VDC. Provide a 24 VDC power circuit from the FACP. Connect unit to the system addressable circuit.
9. Provide with remote indicator and testing station for each unit. Station shall indicate system condition (alarm, normal, trouble), have the ability to remotely test the system and have time delay/sensitivity adjustments. Mount station in local utility space and label for the specific unit.
10. Acceptable Manufacturer:
  - a. System manufacturer.
  - b. Another manufacturer listed with the system and meeting these specifications.

D. Heat Detector:

1. The heat detector shall be a thermal sensor and shall constantly monitor the space temperature and constantly report this to the system. The unit shall be analog addressable.
2. The sensor shall use dual solid state thermistors and shall monitor the ambient temperature from 32 degrees F, to 155 degrees F and provide a fast response to rapid increase in temperature. The sensor shall send data to the FACP representing the analog value of the ambient temperature. The FACP shall be suitable to monitor for set temperature (selectable by detector for 135 or 155 degrees F) and rate of rise (selectable by detector for 15 or 20 degrees F per minute). Individual detector thermal settings shall be adjusted for the building/space characteristics and operation but shall initially be set to 135 degrees F set temperature and 15 degrees F per minute rate of rise.
3. Detectors shall be designed for twistlock mounting to a separate base assembly. Provide back box suitable for surface mounting where required.
4. The detector base shall have terminals for making all connections; no soldering shall be required. It shall be possible to secure the detector in the base with a concealed socket headscrew to prevent unauthorized tampering.
5. Smoke detectors shall be UL 268 listed and FM approved.

6. All thermal sensors shall be field checked and set to meet the prevailing conditions of the premise. All such work shall be performed by an authorized representative of the manufacturer trained in such procedures.
- E. Combination Smoke And Heat Detector:
1. Single detector shall have both heat and smoke sensing capability as described in the photoelectric smoke detector and heat detector paragraphs above. Unit shall provide two individual analog sensing levels to the FACP including one for smoke and one for heat.
  2. Detector shall utilize the same base unit as the smoke and heat detectors.
- F. Addressable Initiation Module/Monitor Module:
1. The addressable initiation module shall be used to connect supervised conventional initiating device or zone of supervised conventional initiating devices (water flow switches, tamper switches, manual pull stations, (4) wire smoke detectors, conventional (4) wire duct detectors, fire pump alarms, dry chemical fire extinguisher control panels, etc.) to one of the system's addressable circuits.
  2. The module shall provide address setting means using rotary decimal switches and also store an internal identifying code which the control panel shall use to identify the type of device.
  3. The module shall contain an integral LED that flashes each time the unit is polled.
- G. Manual Pull Stations:
1. Noncoded pull-down type, double action (push then pull down) manual addressable units with front keyed test/reset. Units shall be semi-flush where installed in construction with hollow or block walls. Where construction does not allow semi-flush mounting then unit shall be surface mounted utilizing the manufacturers back box. Each unit shall have a distinct address. Units shall be key reset.
  2. Units installed outdoors or in potentially wet locations shall be rated for such conditions.
  3. Bright red finish with white lettering "FIRE ALARM".
  4. Provide tamperproof clear lexan protective shield with horn and batteries to produce 85 Db minimum sound pressure level at 10 ft. when shield is raised. Shield shall have activation/deactivation switch with lockout screw, and 400 lb. breaking strength retaining cable.

H. Duct-Type Smoke Detector:

1. Detector shall be a photoelectric type that shall be activated by the presence of combustion products.
2. The detector head shall be a plug-in unit. The unit shall contain no moving parts. One chamber shall be for fire detection and the second chamber shall function as a reference, to stabilize the detector for changes in environmental temperature, humidity and pressure. It shall be possible to electrically check detectors sensitivity, using a sensitivity test set, or equivalent, and readjust the detectors sensitivity as required.
3. The detector base shall have terminals for making all connections; no soldering shall be required. It shall be possible to secure the detector in the base with a concealed socket-head screw to prevent unauthorized tampering.
4. Smoke detectors shall be listed by Underwriter's Laboratories, Inc. and approved by Factory Mutual Insurance Company.
5. Provide complete with sampling tubes. Size sampling tubes for 80% of the width of the duct. Locate in ductwork for the indicated system and in accordance with the manufacturer's recommendations.
6. Provide auxiliary contacts and separate 24 VDC power to relay required for smoke damper operation.
7. Provide a remote indicating light/key test switch for each duct detector and mount in a local utility room with a sign indicating the system and location of the duct detector (i.e. AHU-2, Second Floor East End).
8. Provide addressable base.

I. Carbon Monoxide (CO) Detector:

1. Detector shall sense the level of CO concentration within a space and provide analog addressable signal to the system and be UL 2075 listed. Unit shall have a minimum life span of 10 years without replacement/recalibration.
2. Provide with audible notification base unit for local unique notification. Alarm and notification initiation shall be from the control panel.
3. Detector shall connect to the system addressable circuiting.
4. Alarm level shall be adjusted at the control panel. Upon an alarm the local notification shall sound and a trouble alarm initiated.

J. Single Station Carbon Monoxide (CO) Detector:

1. Detector shall sense the level of CO concentration within a space, provide local notification and be UL 2034 listed. Unit shall have a minimum life span of 10 years without replacement/recalibration.
2. Provide with audible notification base unit for local unique notification. Audible shall be 85dB minimum output at 10 ft.
3. Unit shall be sealed and operate with 10 year battery.

K. Single Station Combination Smoke/Carbon Monoxide Detector:

1. Detector shall be photoelectronic type and have carbon monoxide (CO) sensing. Upon activation, the detector shall sound its integral alarm horn in accordance with ANSI S34.1 and operate its associated alarm circuit and illuminate the built-in alarm light. Integral alarm horn shall be rated 85 dB at 10 ft. Built-in alarm light shall be 177 candela, 60 flashes/minute strobe. Provide LED power-on/alarm indicator.

2.8 NOTIFICATION APPLIANCES

A. Speakers:

1. Refer to audio evaluation article for additional requirements.
2. Basic grille type with powder coated red finish paint.
3. Speaker shall be rated 94 dBA (anechoic chamber) at 10 feet. Output shall be selectable steady tone or coded. Provide dampening devices to reduce unit output by 5dBA for a minimum of 40% of the system speaker units and install as needed to meet the Owner's needs.
4. Units shall be semi-flush where installed in construction with hollow or block walls. Where construction does not allow semi-flush mounting then unit shall be surface mounted utilizing the manufacturers back box.
5. Units installed outdoors or in potentially wet locations shall be rated for such conditions.
6. Provide directional projector where noted on the Drawings.
7. Provide backbox and grille for fully recessed installations; 4 in. deep box maximum.
8. Speaker for carbon monoxide alarm notification shall meet the requirements above but have a white finish color and have a temporal Code 4 alarm.

B. Strobe Unit:

1. 24 volts DC with built-in Xenon Flasher; two watts maximum. Pulse duration shall be 0.2 seconds with maximum duty cycle of 40%. Illumination intensity shall be field selectable for 15, 30, 75 or 110 candela. Output setting shall be 15 candela in corridors, 75 candela in general areas, 110 candela in sleeping areas or as indicated. Flash rate minimum 1 Hz, maximum 2 Hz. Units within building shall flash in synchronization.
2. Protruding pyramid shaped lexan lens with reflector and the word "FIRE" imprinted on the lens.
3. Rated life shall be a minimum of 500 hours of continuous operation.
4. Units installed outdoors or in potentially wet locations shall be rated for such conditions.
5. Units shall be semi-flush where installed in construction with hollow or block walls. Where construction does not allow semi-flush mounting then unit shall be surface mounted utilizing the manufacturers back box. Wall or ceiling mounted as noted on the Drawings.
6. Provide surface backbox for surface installation; 4 in. deep maximum.
7. Strobe for carbon monoxide alarm notification shall meet the requirements above but have a white finish color and have the word "ALARM" imprinted on the device.

C. Combination Speaker-Strobe Units:

1. Unit shall be a combination of the speaker and strobe units specified above in a single manufactured unit.

D. Addressable Notification Appliances:

1. Notification appliances specified herein shall be addressable and individually programmed for use as dictated by the Owner. Notification shall be programmed by floor, office space, common space, specialty use space and others as directed. Appliances shall only annunciate upon the directed conditions and order.

2.9 ADDRESSABLE CONTROL MODULE

- A. The addressable control module shall have an individual system address, be supervised and control an output dry contact from indication from the FACP. This can be used to control or have an input to elevator controls, notification appliances, door holder circuits, fans systems, etc. as indicated. Modules shall be connected to the addressable loop(s).
- B. The unit shall control an output relay (dry contact form C). The module shall mount in a 4 in. square, 2-1/8 in. deep electrical box.

- C. The module shall contain an integral LED that shall flash each time the module is polled.
- D. The module shall provide address setting means using rotary decimal switches and also store an internal identifying code which the control panel shall use to identify the type of device. Each unit shall have a separate address and be connected to the system addressable signaling circuit.

#### 2.10 REMOTE ANNUNCIATOR

- A. Wall mount within a surface box. Maximum depth of 4 in., stainless steel trim. Nominal dimensions of 4 in. x 12 in.
- B. Annunciation shall be by two line by 40 character LCD display to provide system information and alarm/trouble description.
- C. Unit power and control shall be from the FACP. Unit circuiting shall be supervised.
- D. Provide trouble signal with audible buzzer, silencing switch and system reset. All pushbuttons shall be inoperable without keyswitch activated. Pushbuttons for alarm acknowledge, silence and alarm reset shall be standard on the front with a description. Shall include a minimum of four auxiliary switches/pushbuttons to be programmed as coordinated with the owner (possible options are door holder release override, manual alarm initiation, elevator capture bypass, etc.).
- E. Tamper-resistant front panel screws.
- F. Provide a 24 in. x 36 in. framed directory showing the building outline of each floor and referencing device descriptions. All lettering shall be minimum 1/2 in. high. Mount next to remote annunciator.

#### 2.11 MAGNETIC DOOR HOLDERS

- A. Rated 24VDC from a dedicated supervised power supply.
- B. Holders shall be wall or floor mounted adjacent to the doors as dictated by the building conditions. Floor mounted units shall only be used where wall mounted are not possible.
- C. Door holders shall be aluminum construction, have 25 pound holding force and shall have all necessary mounting hardware. Provide door plate for each and extender chain (chromed and 1 in. links) where needed.

#### 2.12 MUNICIPAL TIE EQUIPMENT - RFD MASTER RADIO SYSTEM

- A. Provide complete system consisting of sending equipment to interface with existing master box equipment.
- B. Transmission shall be sent over existing 4-channel master radio network arranged by the Fire Department.

- C. Associated equipment shall be contained within the Fire Alarm Central Processing Unit enclosure. Provide surge suppression to protect the two (2) systems.
- D. Sending equipment shall transmit line trouble as well as fire alarm condition signal.
- E. Provide all required work to complete communication tie to local Fire Department 911 Center, RFD Master, Radio Network System.

#### 2.13 DIGITAL COMMUNICATOR

- A. The digital fire communicator shall be installed in the FACP or mounted in a separate enclosure. The communicator shall be powered by 24 VDC from the FACP and shall report four (4) conditions - (2) alarm, (1) trouble and (1) supervisory. The unit shall have a built in auxiliary relay output which is programmable for alarm or trouble conditions, and shall be capable of sending a distinctive AC power failure report.
- B. Install all wiring in accordance with manufacturer's recommendations. All wiring shall be completely tested as directed by the manufacturer, and a written test report submitted to them for approval. Their approval shall be obtained before connecting any devices. The system manufacturer, by their approval of the test report, shall assume all responsibility for all installed wiring.
- C. The communicator shall have the following features: visual and audible trouble indications; supervised or unsupervised input channels, dual phone line interface with line seizure; local and remote programming and automatic 24-hour test.
- D. The communicator shall be UL 864 listed and meet the requirements of NFPA 72 Chapter 4 for supervising station fire alarm systems.

#### 2.14 NOTIFICATION APPLIANCE CIRCUIT EXTENDER (NAC)

- A. Unit shall provide additional notification appliance circuit capability for new or existing system and be utilized for horns and strobe units.
- B. Connections to the unit shall include power, notification appliance circuit output circuits and addressable control input or notification circuit input. The power circuit shall be from an emergency source if available in the building.
- C. Notification appliance circuit capability shall be four Class B or Class A, 2A, 24VDC minimum. Selectable for synchronized or not.
- D. Power supply shall be rated for 8A minimum at 24VDC for circuit power use and battery charging. Battery and charger shall be as specified within this section.
- E. Unit shall provide output circuit/operation/battery/power/status monitoring and trouble signal to FACP as needed.
- F. Operation: upon a signal through the addressable control input or the notification appliance circuit indicating a system alarm.

- G. Use: Units can be utilized where indicated or where building is greater than 60,000square feet or over six stories in height. There shall be a minimum of one unit for each floor.

#### 2.15 CENTRAL STATION MONITORING

- A. Provide all work required to communicate system status to Fire Department.

#### 2.16 BATTERY AND CHARGER

- A. Standby power shall be provided through 24 volt DC battery and automatic charger.
- B. Provide sealed lead-calcium batteries, ampere-hour capacity which will allow system to operate 24 hours under supervisory condition and at the end of this period to operate all alarm signals for fifteen 15 consecutive minutes.
- C. Provide cell reversal protection.
- D. Life expectancy shall be five (5) years minimum.
- E. Charger shall be self-regulating, solid state, type, automatic with capability to fully charge the discharged battery within five (5) hours.
- F. Locate charger within the FACP enclosure. Locate batteries in a separate vented enclosure directly adjacent to the FACP [or the FACP enclosure].

#### 2.17 WIRE GUARDS

- A. Where specified herein or shown on the drawings provided a suitable wire guard for protection of indicated devices/equipment. Units shall be custom as needed for the application.
- B. Wire guard shall be a minimum #6 wire gage of zinc plated steel, overall clear coating and welded at joints. For any unit needing access it shall have an integral hinge and locking means.
- C. As a minimum provide a wire guard for equipment where indicated and in gymnasiums.
- D. Wires shall have 2 inch maximum spacing.
- E. Acceptable Manufacturers:
  - 1. Design Make: American Time and Signal.
  - 2. Simplex.
  - 3. Approved equal.



## 2.18 PULL STATION ALARM COVER

- A. Provide a protective alarm cover over manual pull stations in public places. Unit shall allow easy access to the manual pull station and also provide an audible alarm when operated.
- B. Unit shall provide a 95dB alarm at 1 foot and be powered from a 9VDC battery.
- C. Unit shall be suitable for use in the intended location and pull station.
- D. Acceptable manufacturer:
  - 1. System manufacturer.
  - 2. STI Stopper II.

## PART 3 - EXECUTION

### 3.1 INSTALLATION, EQUIPMENT

- A. All installations shall be accomplished in a professional manner by qualified personnel regularly engaged in and experienced in this type of Work. Fire alarm installation shall be directed by a person who possesses a state license for installation of fire alarm systems. All equipment and components shall be installed in accordance with the manufacturer's recommendations.
- B. System junction boxes and surface mounted device boxes shall be painted red.
- C. All notification circuits shall originate from the FACP. Signal expander units shall not be used.
- D. Provide all wiring to sprinkler flow switches, pressure switches, and alarm check valves, installed by others. Maintain supervisory circuitry to the switches. Use liquidtight conduit for the last 2 ft. - 0 in. of raceway at the switch.
- E. Provide all wiring to post indicator valves, OS&Y valves and dry pipe sprinkler system maintenance air pressure switches, provided by others. Wire into the supervisory alarm portion of the fire alarm system.
- F. Provide all wiring to the smoke dampers installed by others. Provide an addressable control module for each. Wire to the damper junction box with flexible conduit and wire; provide box or boxes as required. Install according to NEC. Smoke dampers shall close when its associated smoke duct detector is in alarm, upon direction from the FACP or if the associated fan unit is not operating.
- G. Provide all power supplies and wiring to smoke relief hatches and fire barriers provided by others. Smoke relief hatch or fire barrier shall operate only when its associated smoke detector is in alarm.

- H. Provide all wiring to duct smoke detectors. Duct smoke detectors shall be mounted on the ventilating ductwork by others. All mounting arrangements, holes cut into ductwork, sealing of openings along with ceiling and access doors for the duct type detectors shall be provided by others. Provide duct detectors along with sampling tubes with end caps. Sequence smoke damper operation thirty seconds after its associated fan has been shut down.
- I. Provide all wiring required for fan shutdown. Wire from the addressable control module for each fan to be shut down and provide wiring from the module to the fan control unit (starter, adjustable speed drive, etc.) Dry contact shall be wired ahead of all control functions for starters. Provide intermediate relay for control circuits beyond the rating of the control module.
- J. Coordinate the municipal tie with the local Fire Department and comply with Fire Department requirements and regulations.
- K. Install all door holders in accordance with installation detail on the drawings and coordinate with the General Construction trade. A maximum of fifty (50) door holders shall be wired to each power circuit.
- L. Provide 120 volt AC supervisory relays in the Fire Alarm Control Panel enclosure for each magnetic door holder power circuit to insure their associated circuit breakers are in the "ON" position. In the event a circuit breaker is in the "OFF" position, its associated supervisory relay shall transmit a trouble signal.
- M. Provide all elevator capture control wiring. Installation shall be in accordance with manufacturer's recommendations. Pay all costs to modify existing elevator controllers for elevator capture and alternate level capture.
- N. Elevator machine room and shaft heat detectors shall be mounted within two feet of the sprinkler head where applicable.
- O. Detection and initiating equipment shall be listed by NRTL and approved by FM.
- P. All surface mounted devices shall be mounted on a special box furnished by fire alarm equipment manufacturer. Total assembly shall be secure, smooth contour and have no protrusions.
- Q. Where detectors are installed on wood or masonry surfaces, attach brackets directly to the surface with tamperproof fasteners. Where detectors are installed on suspended ceilings, provide additional supports in the ceiling, such as channel support system, angle iron or additional runner bars. Fasten the additional supports rigidly to the ceiling runner bar system. Attach bracket to the supports with tamperproof fasteners. Install metal spacers between the bracket and supports so that the ceiling tiles will not be a part of the support system.
- R. Install wall mounted audio/visual signal devices at 80 in. AFF to center line. Where ceiling types are called for, verify ceiling type and mounting height in the field. Provide pendant-mounted devices as required for specified mounting height.

- S. An auxiliary fire alarm relay used to control an emergency control device that provides control functions described in this specification shall be located within 3 ft. of the emergency control device and all wiring shall be supervised.
- T. All smoke detectors shall be field checked and set to meet the prevailing conditions of the premise. All such Work shall be performed by an authorized representative of the manufacturer trained in such procedures.

### 3.2 SYSTEM CIRCUITING

- A. All wiring shall conform to the NEC, and to NFPA-72, National Fire Alarm Code.
- B. Install all wiring in accordance with manufacturer's recommendations taking into account loading, intended location, circuit length, spare capacity and voltage drop.
- C. All wiring shall be copper and installed in a dedicated/segregated raceway system.
- D. Power circuits:
  - 1. Provide the required quantity of 20 ampere, 120 volt circuits to the system with a minimum of one (1) for the FACP, one (1) for door release, one (1) for ECCP.
  - 2. All 120 volt wiring shall be installed in separate raceway system.
- E. Provide minimum #18 AWG twisted shielded pair for addressable signal line circuits. Notification appliance circuits shall be #14 AWG minimum.
- F. Provide minimum #18 AWG twisted pair for speakers and telephones.
- G. Addressable signal line and Speaker circuits shall be shielded, unless shielding is not required by manufacturer. Maintain separation from nearby power interference.
- H. Addressable signal line circuits shall be NFPA 72 - 2010 Class B.
- I. Notification appliance circuits shall be NFPA 72 - 2010 Class B.
- J. NFPA pathway survivability:
  - 1. LEVEL 0: NO PROVISIONS.
  - 2. LEVEL 1: BUILDING SPRINKLER PROTECTED AND METAL CIRCUIT RACEWAY.
  - 3. LEVEL 2: 2 HOUR FIRE RATED PROTECTION FOR CIRCUITING.
  - 4. LEVEL 3: 2 HOUR FIRE RATED PROTECTION FOR CIRCUITING AND BUILDING SPRINKLER PROTECTED.

- K. Provide a 24VDC power circuit, #16 twisted pair minimum, with each initiation addressable circuit for the entire length.
- L. Notification circuits shall be segregated as indicated on the drawings and by individual floors as a minimum. Circuits shall also be dedicated to audible or visual appliances but not both.

### 3.3 PROGRAMMING

- A. Include in bid the cost to cover all system programming, including items particular to this project (such as custom zone descriptions, time delay settings, sensitivity settings, etc.) such that entire system is 100% complete and operating to the Owner's satisfaction. Coordinate all system programming with the Owner. Also, provide programming of the system a minimum of once during the warranty period to provide changes requested by the Owner.

### 3.4 SPARE EQUIPMENT

- A. Provide spare equipment with installation included. Field verify quantities prior to ordering. At the end of the project, if the equipment is not needed to be installed, deliver the equipment to an Owner designated location in the original packaging. Submit a credit proposal for the deleted labor.
- B. Equipment to include:
  - 1. Smoke detectors: 5% of each type used with a minimum of five (5).
  - 2. Heat detectors: 5% of each type used with a minimum of five (5).
  - 3. Addressable control modules: 2% of each type used with a minimum of two (2).
  - 4. Addressable initiation modules: 2% of each type used with a minimum of two (2).
  - 5. Strobes: 5% of each type used with a minimum of five (5).
  - 6. Speakers: 5% of each type used with a minimum of five (5).
  - 7. Speakers/Strobes: 5% of each type used with a minimum of five (5).
  - 8. Fire Alarm Fan Shutdowns: 5% of each type used with a minimum of five (5).
  - 9. Smoke Damper locations: 10% of each type used with a minimum of ten (10).
  - 10. Duct-Mounted Smoke Detectors: 5% of each type used with a minimum of five (5).
  - 11. Tamper Switches: 2% of each type used with a minimum of two (2).

12. Flow Switches: 2% of each type used with a minimum of two (2).

### 3.5 TESTING AND INSTRUCTION

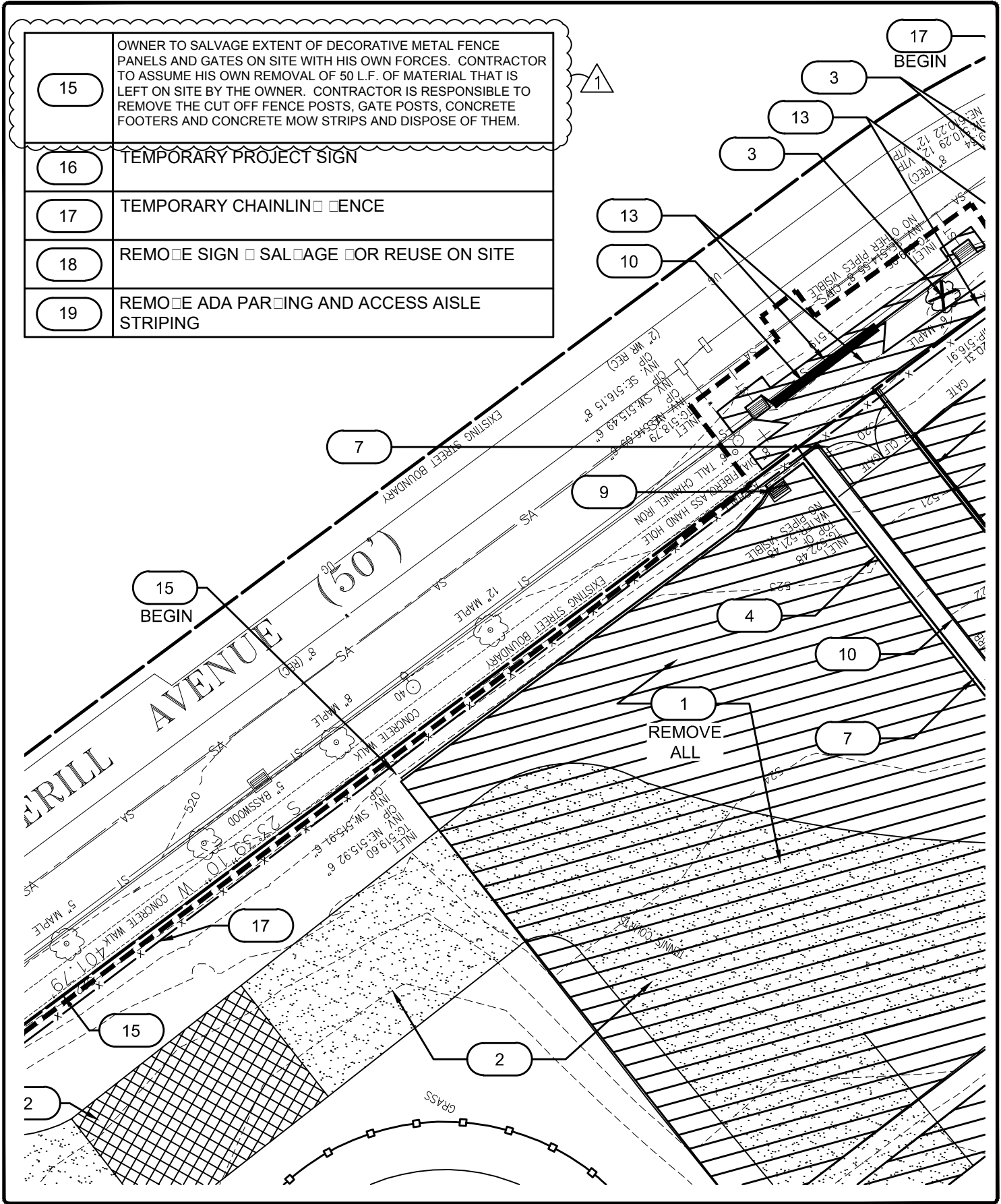
- A. The complete fire alarm system shall be fully tested after the installation is complete. Testing shall include all devices, FACP, annunciator panel, other panels, features and functions. Testing shall be witnessed by the owners representative and be in accordance with the NFPA and herein. Provide a testing report to the authority having jurisdiction and the Engineer as a submittal.
- B. Provide a minimum of four (4) hours of instruction to the operating personnel designated by the Owner's Representative with regard to use and operation of the system. Provide up to three programming modifications.
- C. Provide three (3) sets of keys to all panels, manual stations, etc., to the Owner's Representative.
- D. Provide a copy of the system programming to the Owner on a CD/DVD disk or flash drive.
- E. Provide to the Owner system Operation Manuals as specified, that shall include as a minimum:
1. Bill of Material.
  2. Catalog descriptive literature for all equipment. This shall include a description of the unit, ratings, functions, capability, materials and compatibility with other components.
  3. Riser Wiring Diagram showing all equipment, devices, device addresses, connections, control connections, remote notification connection(s), wire quantities and sizes.
  4. Floor plan indicating equipment and device locations, addresses, power circuit information with power panel location, notification circuiting, initiation circuiting and control circuiting. Contact the Engineer for a copy of the project floor plans.
  5. Typical Terminal Wiring Diagram for each type of device.
  6. Terminal wiring Diagram for all Fire Alarm equipment.
  7. Calculations including:
    - a. Battery sizing calculations indicating total number of power devices, load associated with each type device and recommended battery capacity (AH).

- b. Voltage drop calculations with actual equipment loads used to derive battery back-up ampere-hour rating and individual circuit voltage drop (indicate the wire size to be used and the associated voltage drop with the allowed voltage drop) for each circuit.
8. Instruction report starting when instruction was given and who was in attendance, signed by Owner's Representative.
9. A written test report from an authorized representative of the equipment manufacturer that each device and overall system operation has been 100% tested and approved.
10. Certificate of Completion as described in NFPA-72.
11. A two (2) year warranty in accordance with the Basic Requirements of these Specifications shall be provided for this system.

**END OF SECTION**



15	OWNER TO SALVAGE EXTENT OF DECORATIVE METAL FENCE PANELS AND GATES ON SITE WITH HIS OWN FORCES. CONTRACTOR TO ASSUME HIS OWN REMOVAL OF 50 L.F. OF MATERIAL THAT IS LEFT ON SITE BY THE OWNER. CONTRACTOR IS RESPONSIBLE TO REMOVE THE CUT OFF FENCE POSTS, GATE POSTS, CONCRETE FOOTERS AND CONCRETE MOW STRIPS AND DISPOSE OF THEM.
16	TEMPORARY PROJECT SIGN
17	TEMPORARY CHAINLINK FENCE
18	REMOVE SIGN & SALVAGE OR REUSE ON SITE
19	REMOVE ADA PARKING AND ACCESS AISLE STRIPING



DRAWING REFERENCE NUMBER(S): <b>C-003</b>
DRAWING NUMBER: <b>ADC-001</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>SALVAGE FENCE - ADDENDUM #1</b>				
PROJECT NO: 1625	DRAWN BY: DGP	SCALE: 1"=30'-0"	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17

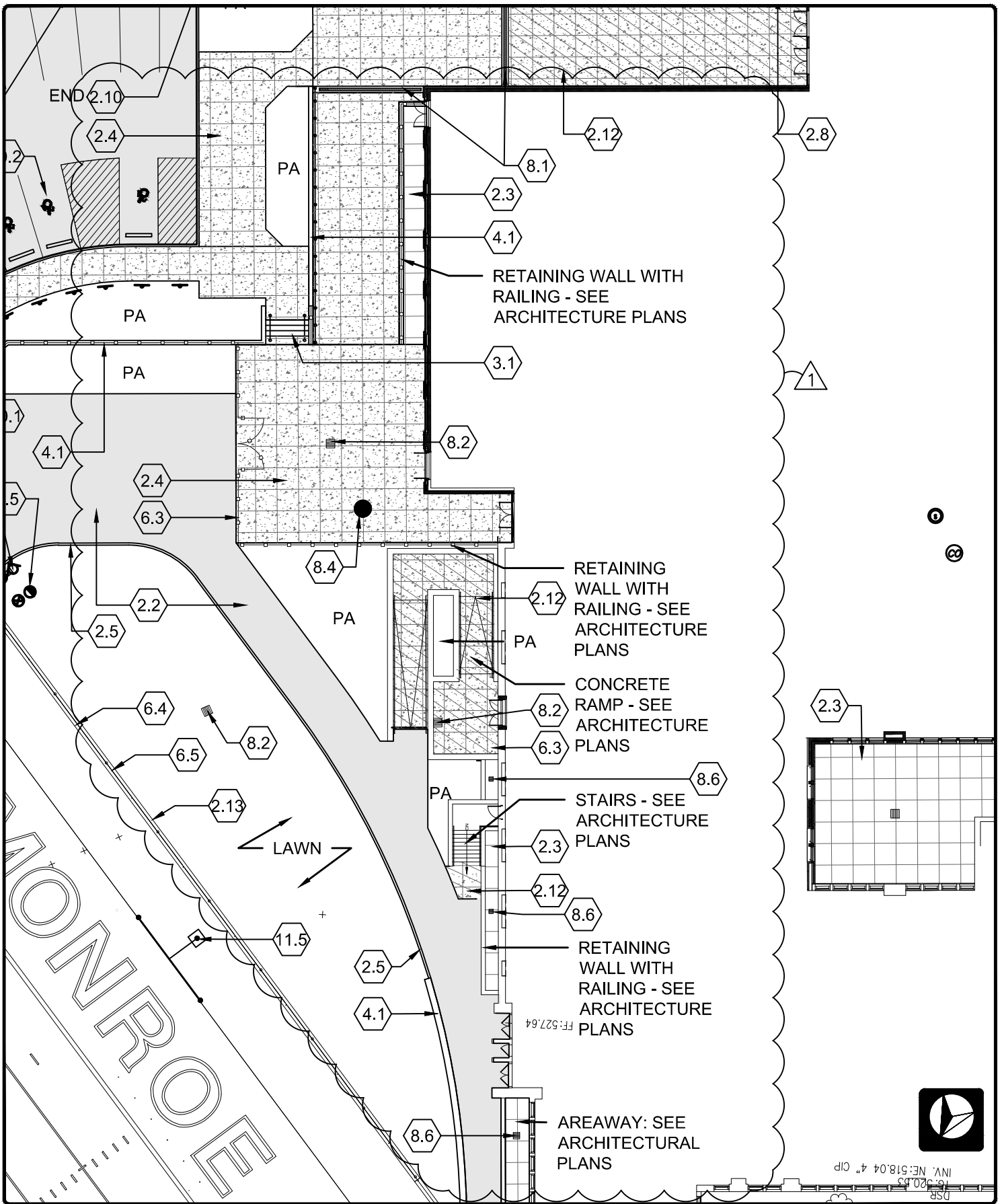
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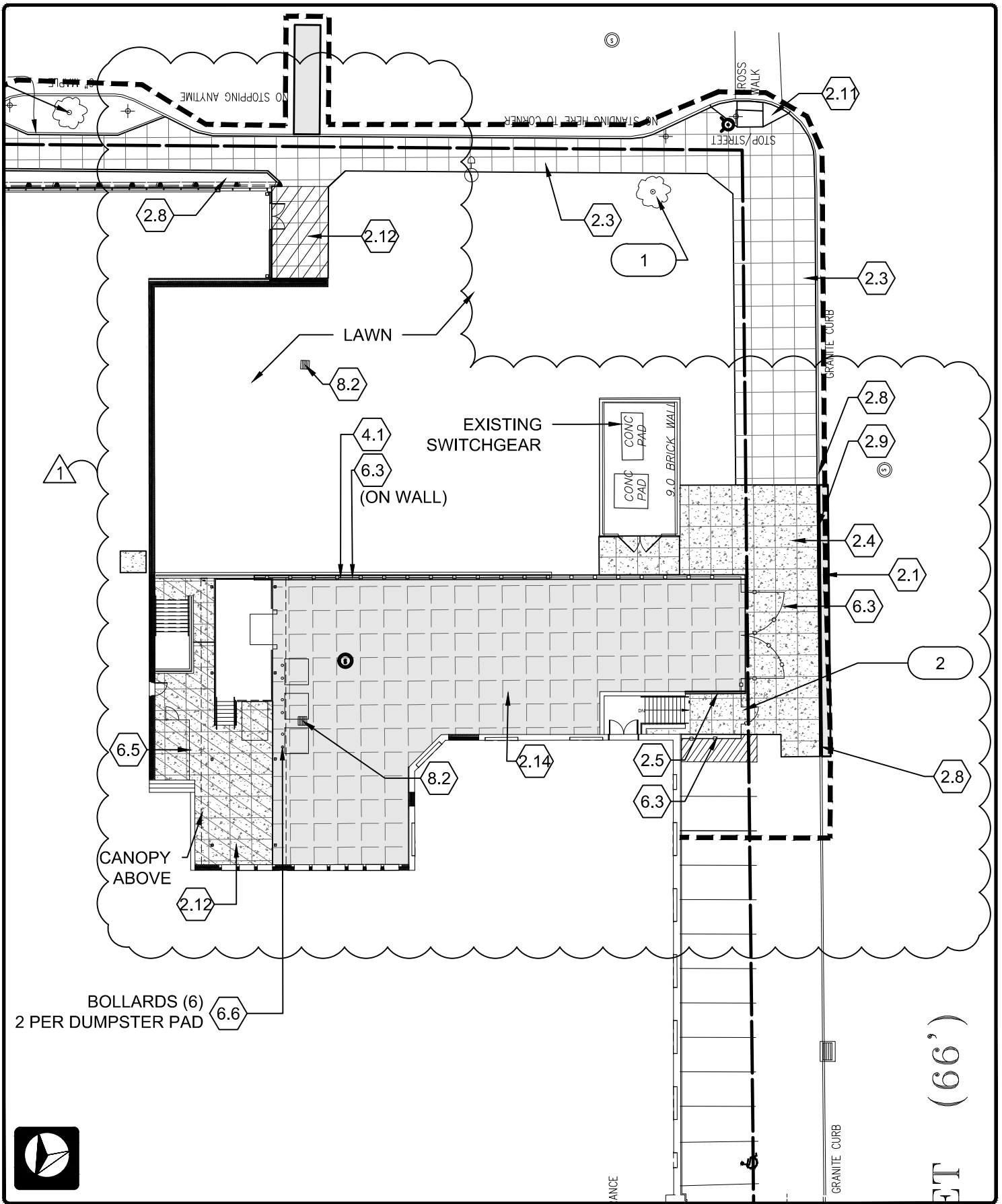


DRAWING REFERENCE NUMBER(S): <b>C-101</b>
DRAWING NUMBER: <b>ADC-002</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>MATERIALS PLAN - ADDENDUM #1</b>				
PROJECT NO: <b>1625</b>	DRAWN BY: <b>DGP</b>	SCALE: <b>1"=30'</b>	ISSUE DATE: <b>6/30/17</b>	REVISION DATE: <b>07/14/17</b>

DSR  
 18-320.55  
 INV. NE: 518.04 4" CIP

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DRAWING REFERENCE NUMBER(S): <b>C-102</b>
DRAWING NUMBER: <b>ADC-003</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

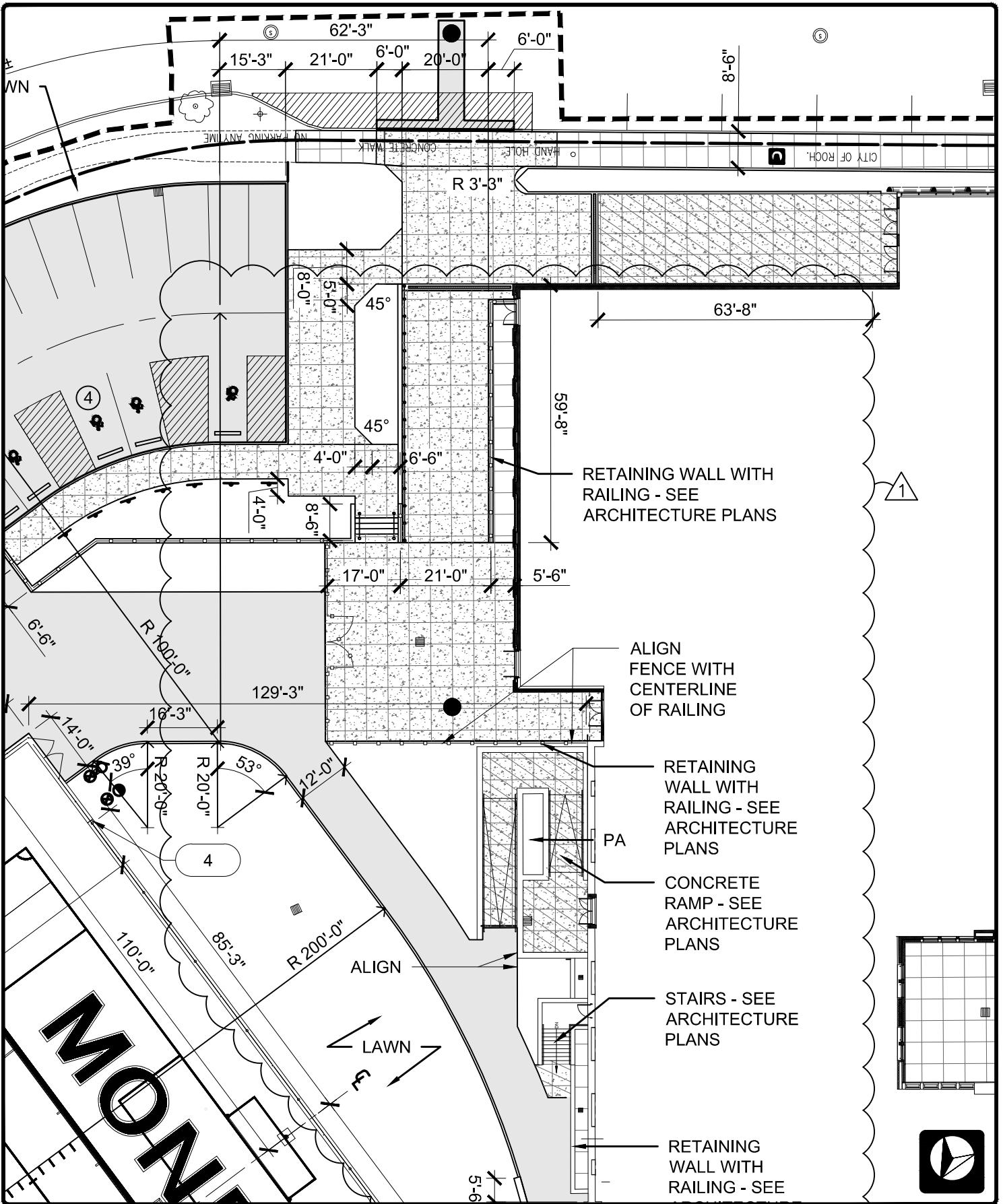
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PROJECT NO: 1625	DRAWN BY: DGP	SCALE: 1"=30'	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17

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DRAWING REFERENCE NUMBER(S): <b>C-103</b>
DRAWING NUMBER: <b>ADC-004</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>LAYOUT PLAN - ADDENDUM #1</b>				
PROJECT NO: 1625	DRAWN BY: DGP	SCALE: 1"=30'	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17

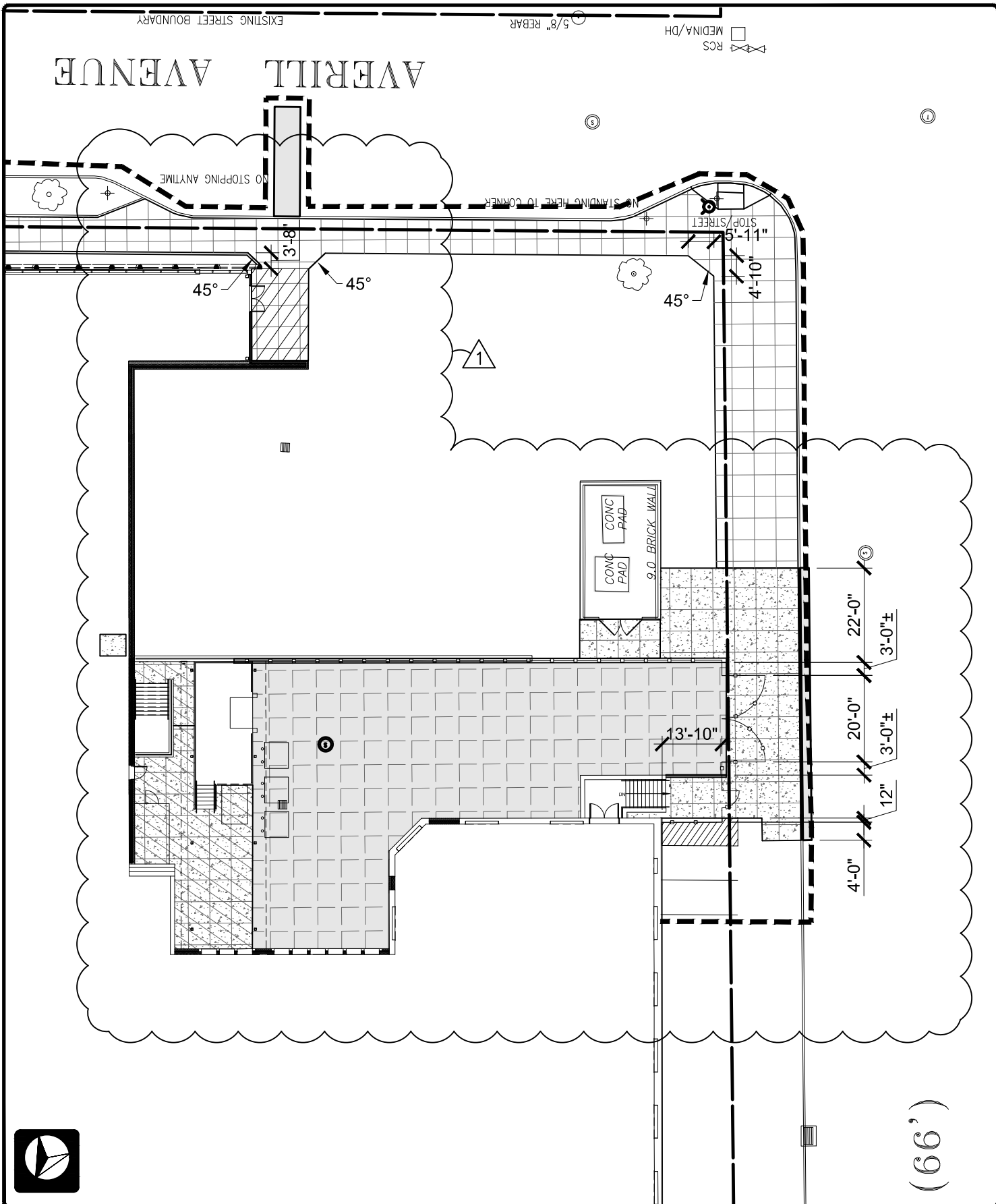
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DRAWING REFERENCE NUMBER(S):  
**C-103**

DRAWING NUMBER:  
**ADC-005**

SED CONTROL NUMBERS:  
SED. #: 26-16-00-01-0-107-030  
DWT #: 26-16-00-01-7-999-019

PROJECT: **RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B**

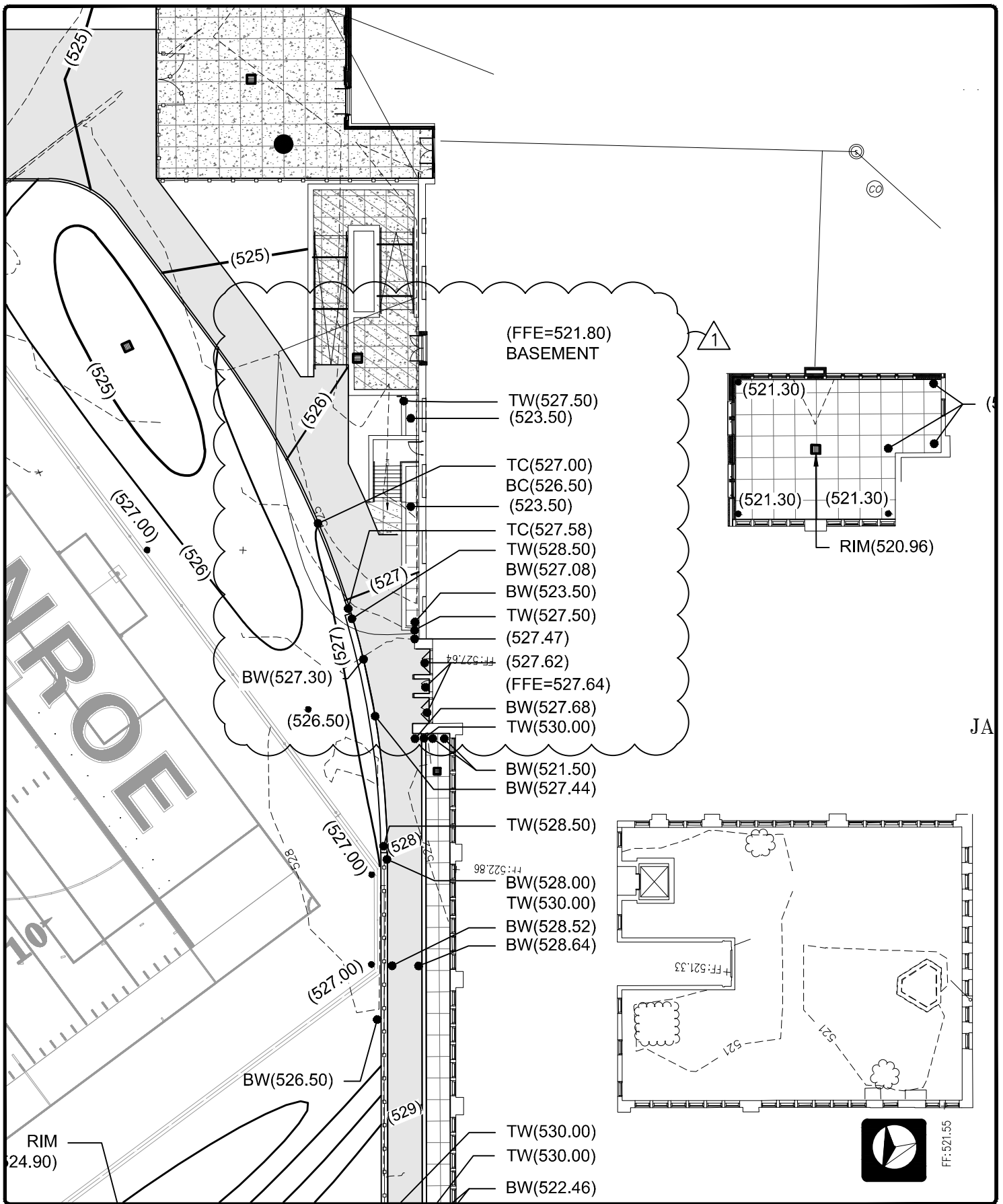
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**LAYOUT PLAN - ADDENDUM #1**

PROJECT NO: 1625	DRAWN BY: DGP	SCALE: 1"=30'	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17
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DRAWING REFERENCE NUMBER(S): <b>C-201</b>
DRAWING NUMBER: <b>ADC-006</b>
SED CONTROL NUMBERS: SED #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

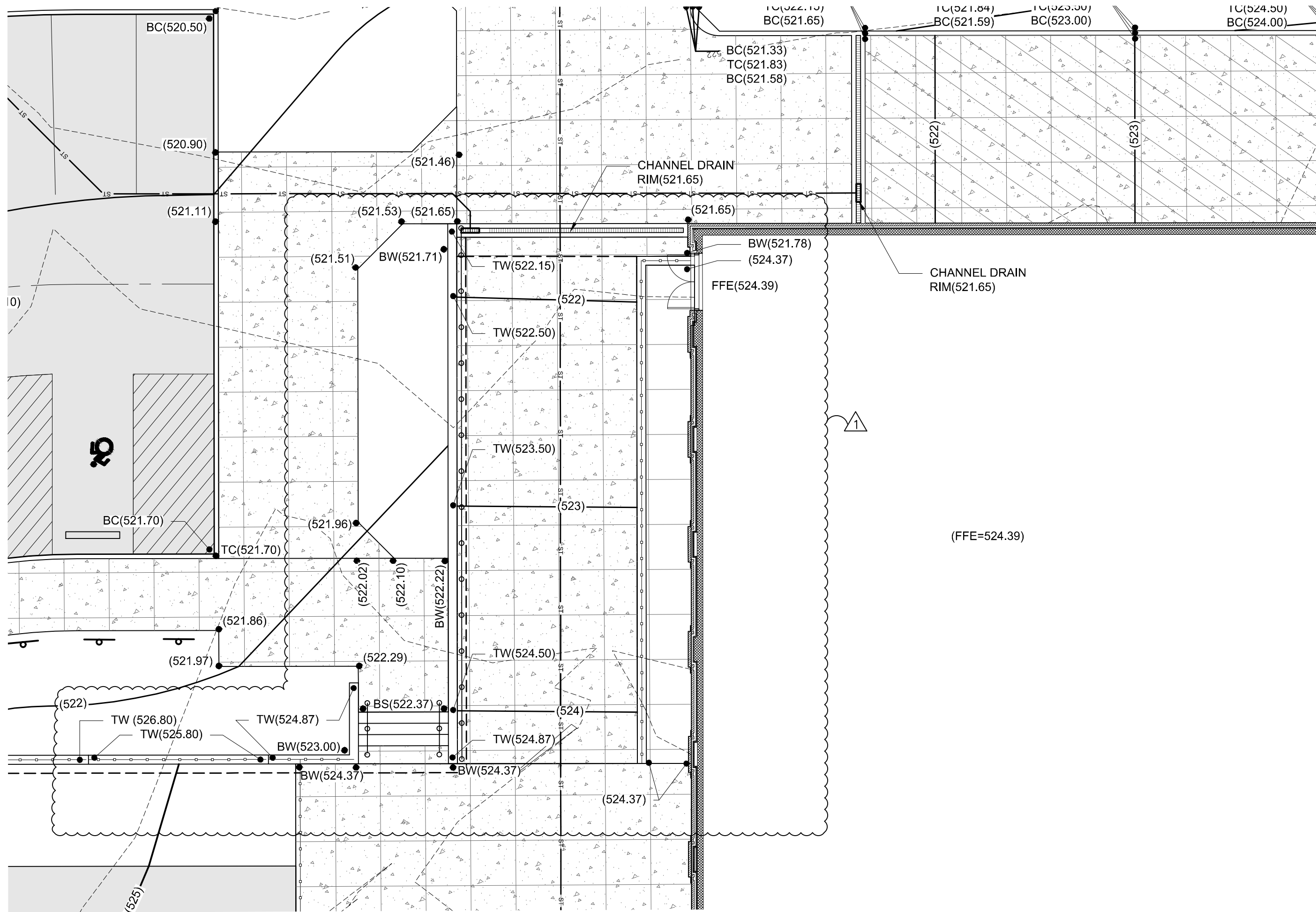
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PROJECT NO: <b>1625</b>	DRAWN BY: <b>DGP</b>	SCALE: <b>1"=30'</b>	ISSUE DATE: <b>6/30/17</b>	REVISION DATE: <b>07/14/17</b>	

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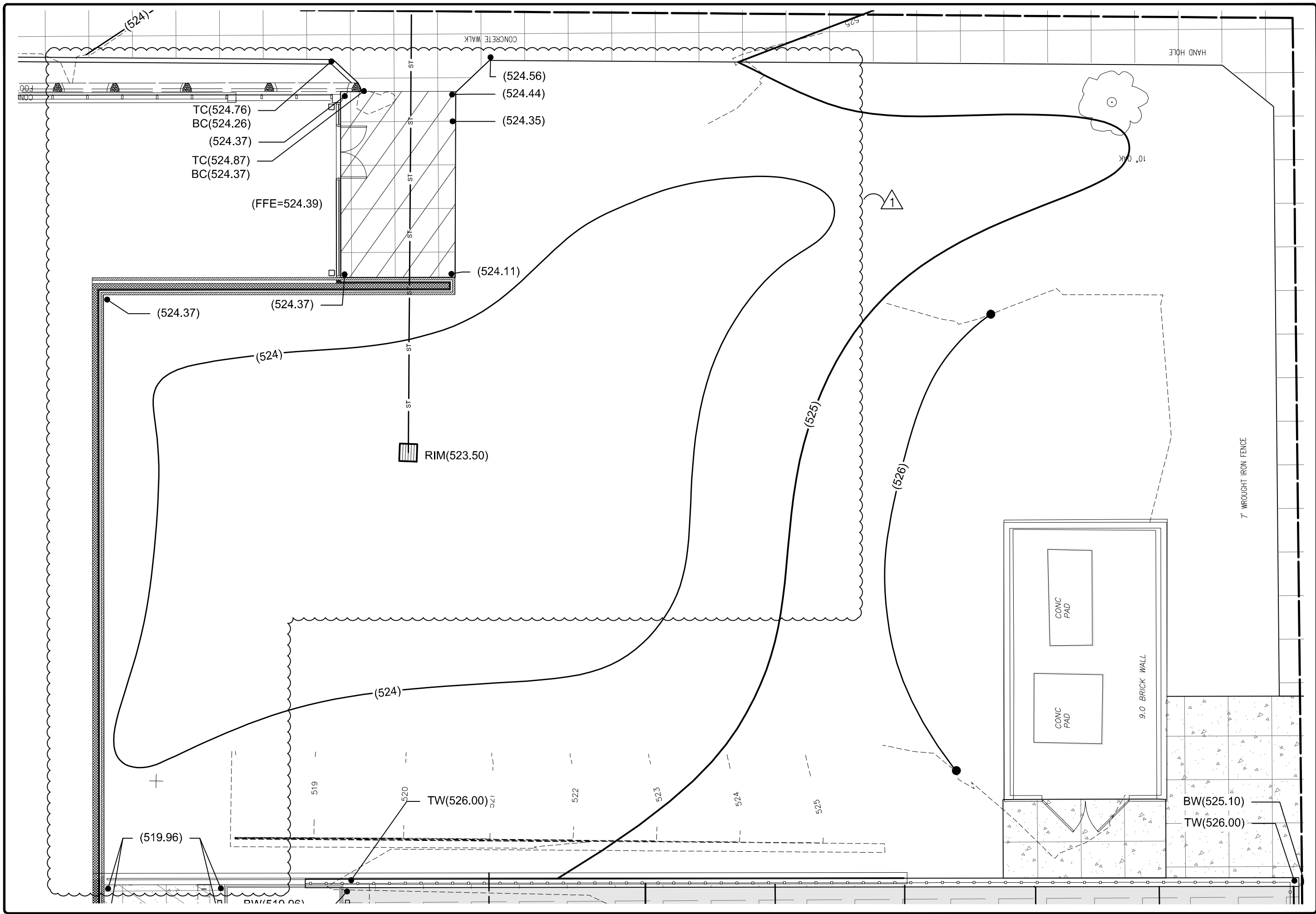


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 (303) 733-1471  
 (303) 733-1472  
 (303) 733-1473  
 (303) 733-1474  
 (303) 733-1475  
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 (303) 733-1477  
 (303) 733-1478  
 (303) 733-1479  
 (303) 733-1480  
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 JENSEN | STARK  
 164 A  
 R  
 SED # 26-16-00-01-0-107-029  
 DWT # 26-16-00-01-7-999-019

PROJECT:	RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B
DRAWING TITLE:	GRADING PLAN - ADDENDUM #1
PROJECT NO.:	1625
DRAWN BY:	DGP
SCALE:	1"=10'-0"
ISSUE DATE:	6/30/17
REVISION DATE:	7/14/17

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 DRAWING NUMBER:  
**ADC-007**

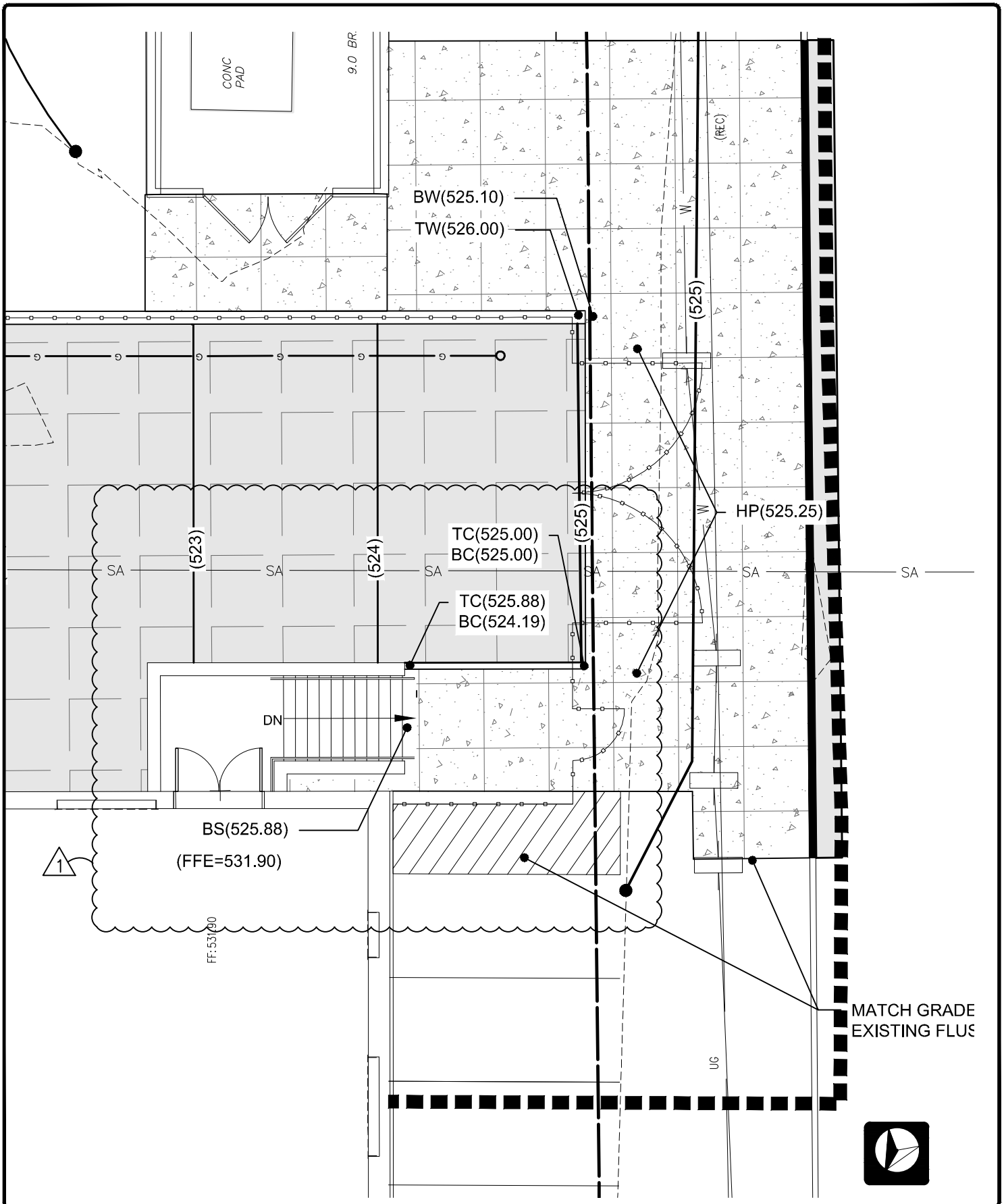


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R  
J  
164 A  
R  
SED # 26-16-00-01-0-107-029  
DWT # 26-16-00-01-7-999-019

PROJECT:	RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B		
DRAWING TITLE:	GRADING PLAN - ADDENDUM #1		
PROJECT NO:	1625	ISSUE DATE:	6/30/17
DRAWN BY:	DGP	SCALE:	1"=10'-0"
REVISION DATE:	7/14/17		

DRAWING REFERENCE NUMBER(S):  
**C-203**  
 DRAWING NUMBER:  
**ADC-008**



DRAWING REFERENCE NUMBER(S): <b>C-203</b>
DRAWING NUMBER: <b>ADC-009</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>GRADING PLAN - ADDENDUM #1</b>				
PROJECT NO: <b>1625</b>	DRAWN BY: <b>DGP</b>	SCALE: <b>1"=10'</b>	ISSUE DATE: <b>6/30/17</b>	REVISION DATE: <b>07/14/17</b>

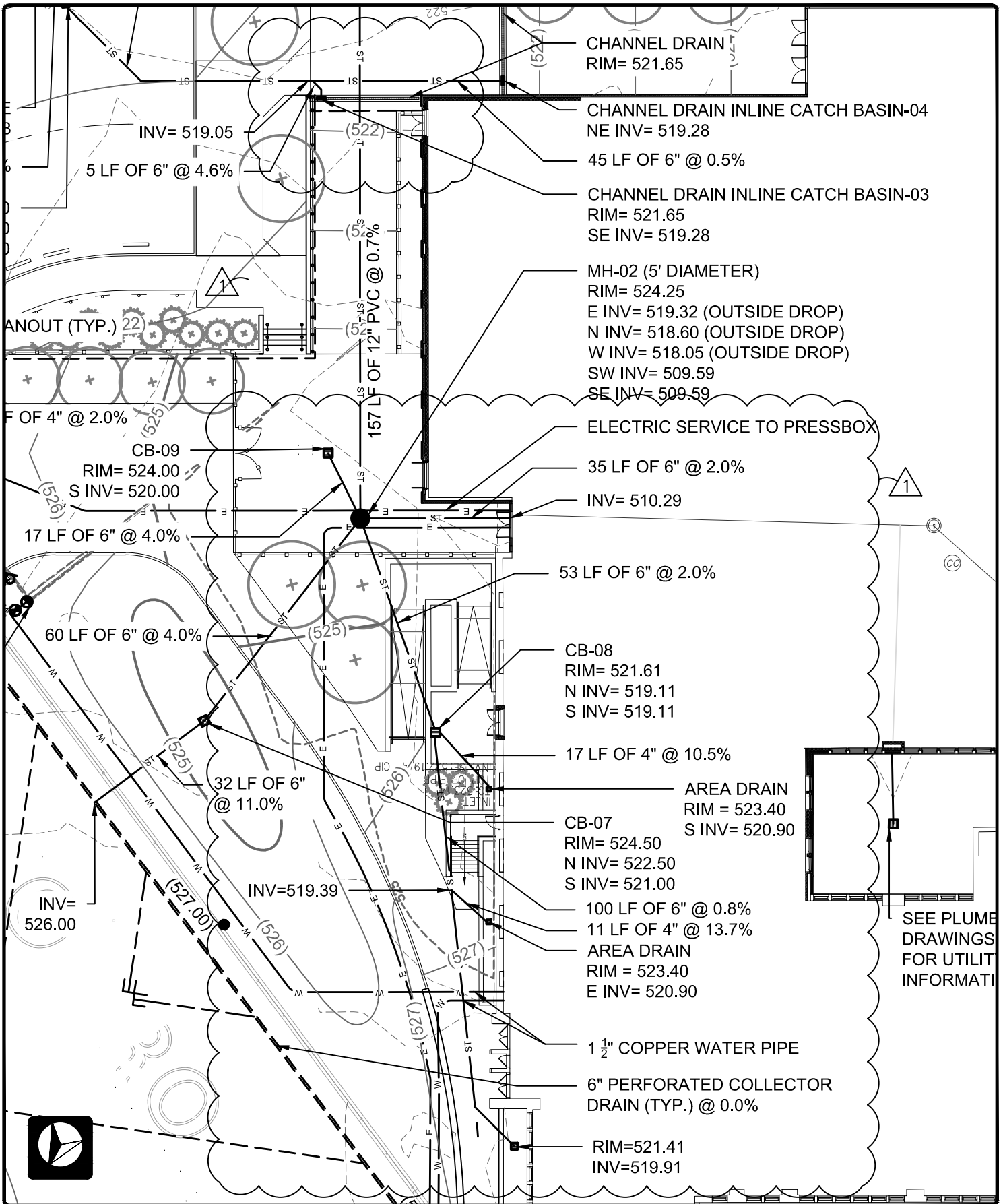
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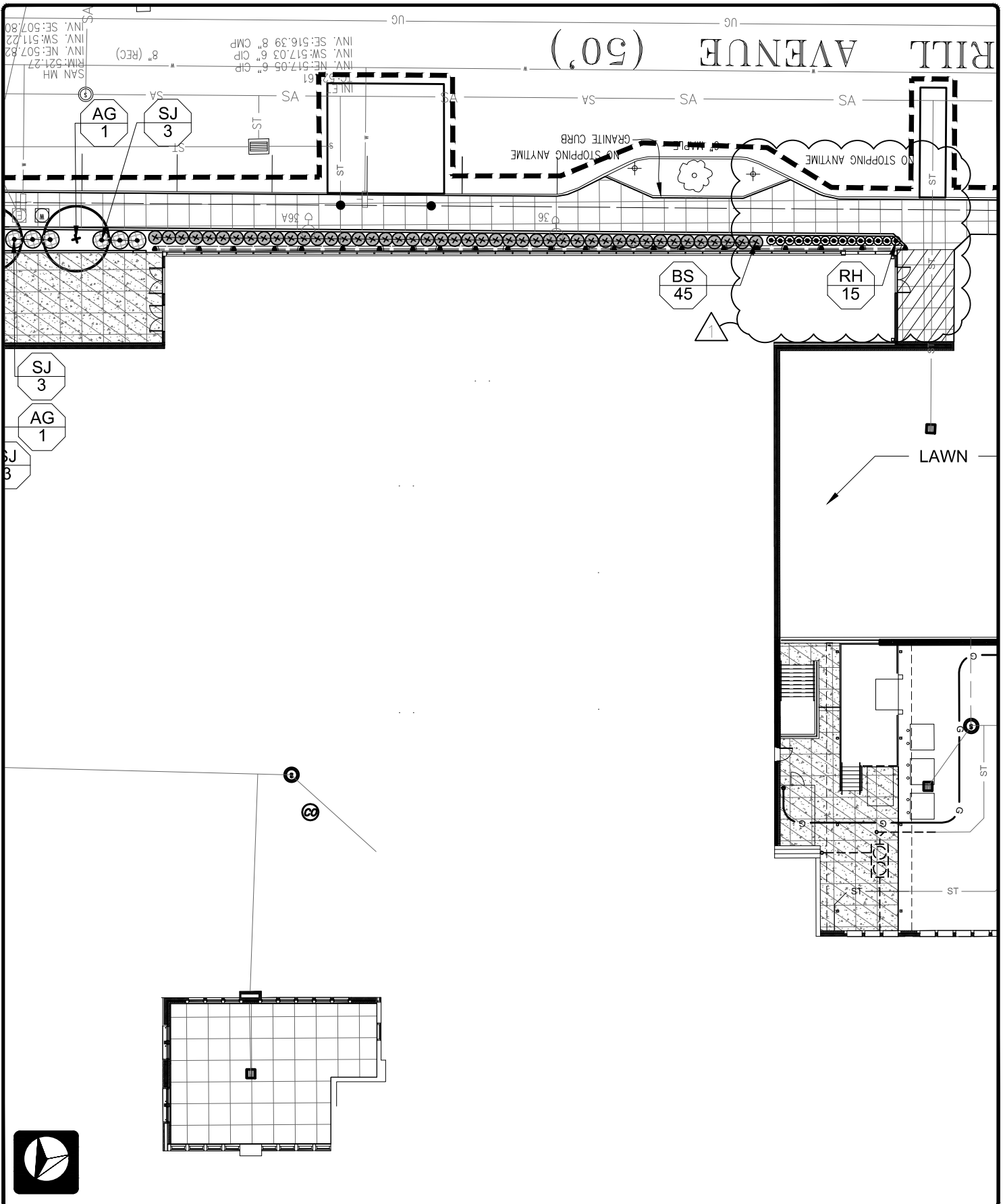


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DRAWING NUMBER: <b>ADC-010</b>
SED CONTROL NUMBERS: SED #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>					
DRAWING TITLE: <b>UTILITY PLAN - ADDENDUM #1</b>					
PROJECT NO: <b>1625</b>	DRAWN BY: <b>DGP</b>	SCALE: <b>1"=30'</b>	ISSUE DATE: <b>6/30/17</b>	REVISION DATE: <b>07/14/17</b>	

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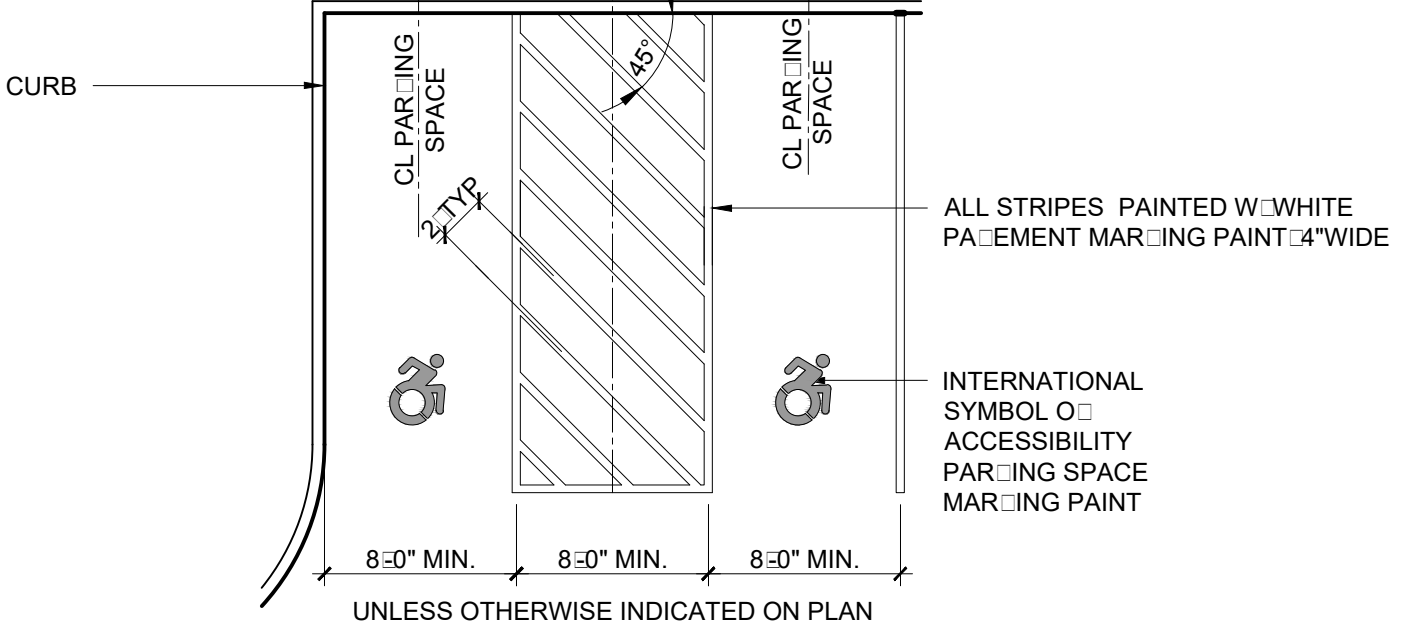
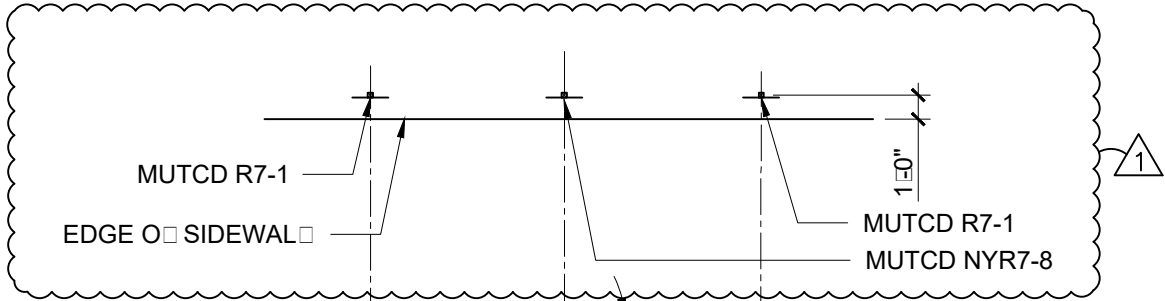
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DRAWING REFERENCE NUMBER(S): <b>C-401</b>
DRAWING NUMBER: <b>ADC-011</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>PLANTING PLAN - ADDENDUM #1</b>				
PROJECT NO: 1625	DRAWN BY: DGP	SCALE: 1"=30'	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17

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4

# ADA PAR/ING SPACES

SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>C-603</b>
DRAWING NUMBER: <b>ADC-012</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

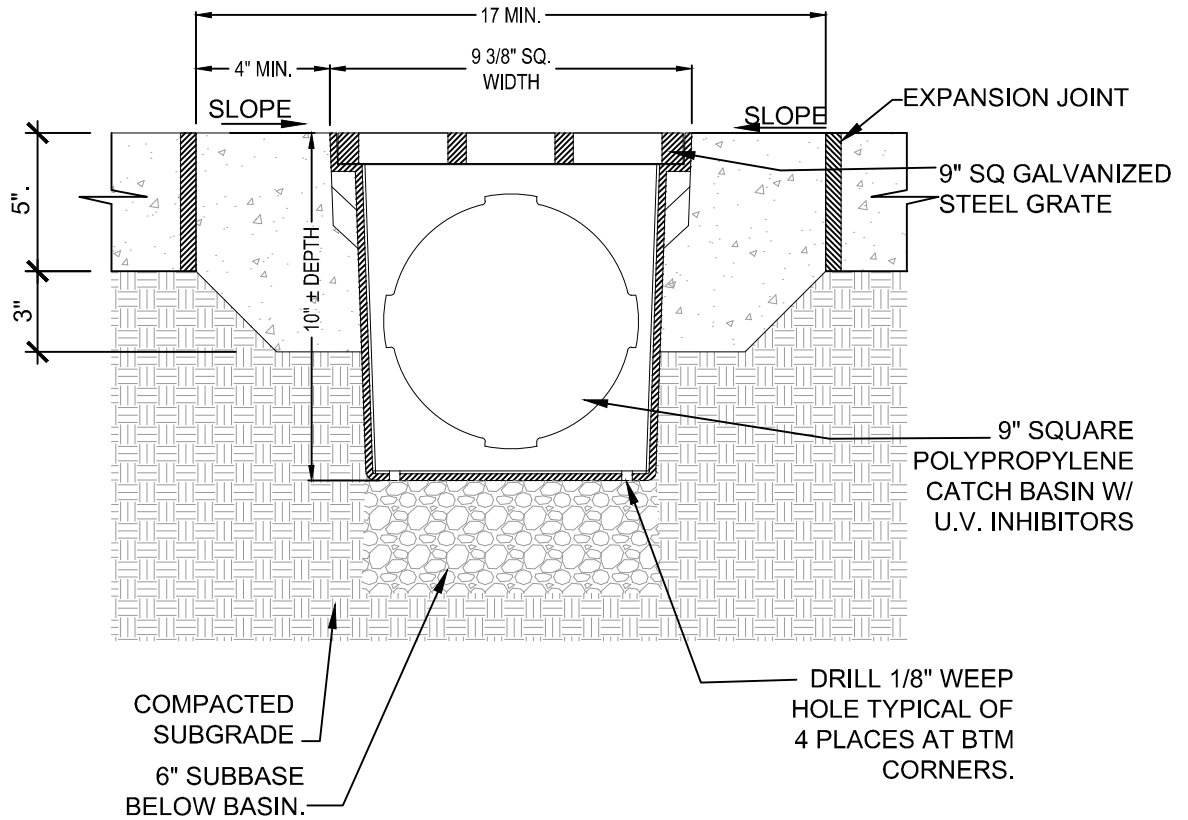
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>ADA PAR/ING SPACES - ADDENDUM #1</b>				
PROJECT NO: 1625	DRAWN BY: DGP	SCALE: AS NOTED	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17

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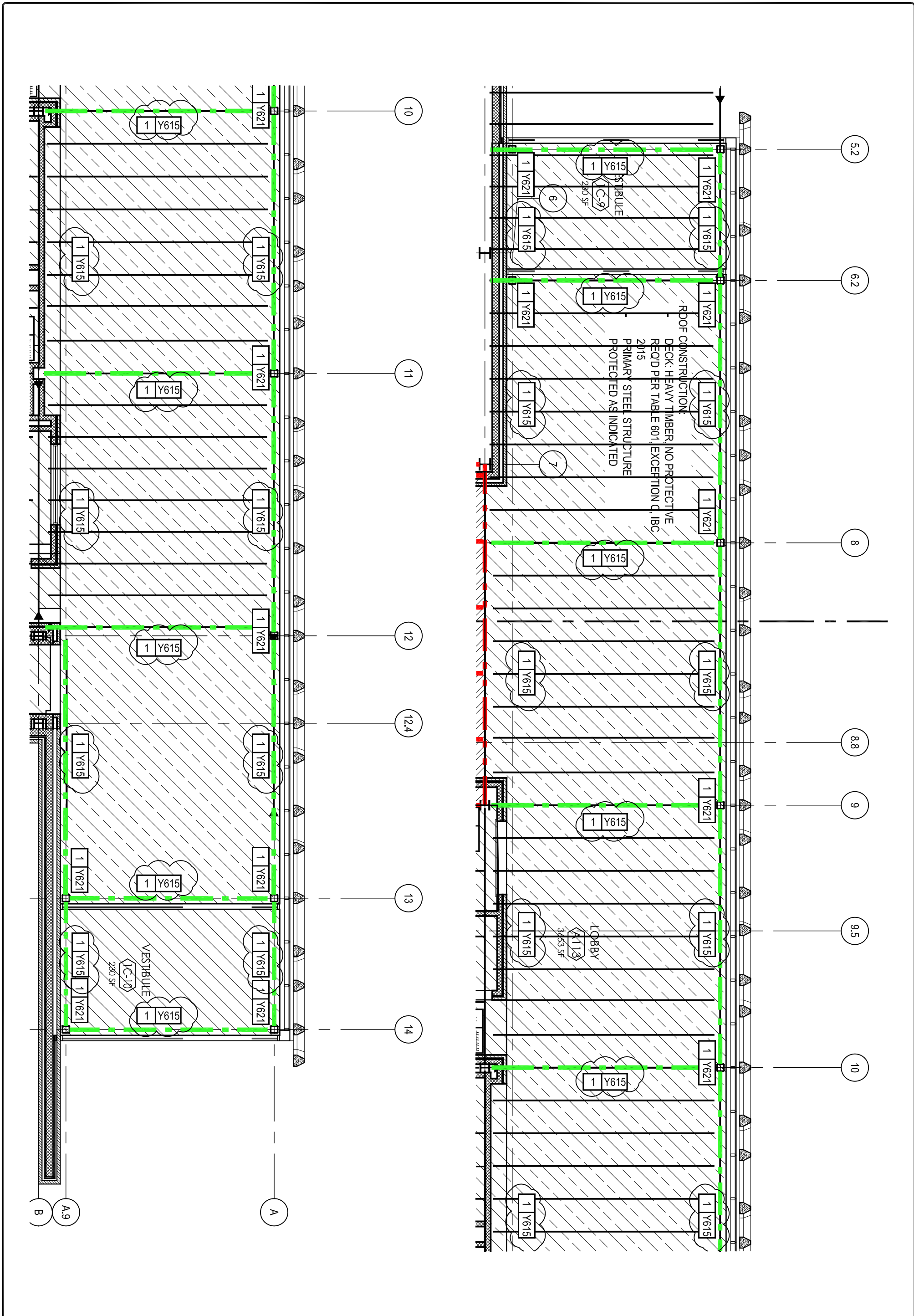


**SECTION**

**NOTES:**

1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. DO NOT EXCEED MANUFACTURER'S MAXIMUM NUMBER OF RISERS.
4. USE RISERS TO ACHIEVE RIM INVERTS SHOWN ON PLAN.

DRAWING REFERENCE NUMBER(S): <b>C-604</b>	PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				<b>CHAINTREUIL   JENSEN   STARK</b>  54 South Union Street Rochester, N.Y. 14607 (585) 244.3780 tel. (585) 244.1294 fax.  <a href="http://www.cjsarchitects.com">www.cjsarchitects.com</a>  <b>ARCHITECTS, LLP</b>
DRAWING NUMBER: <b>ADC-013</b>	DRAWING TITLE: <b>AREA DRAIN - ADDENDUM #1</b>				
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019	PROJECT NO: <b>1625</b>	DRAWN BY: <b>DGP</b>	SCALE: <b>NTS</b>	ISSUE DATE: <b>6/30/17</b>	
REVISION DATE: <b>07/14/17</b>					



DRAWING REFERENCE NUMBER(S):  
**LS-101.1/LS-101.2**

DRAWING NUMBER:  
**ADA-001**

PROJECT: **RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B**

DRAWING TITLE:  
**LOBBY A113 FIRE RATING REQ. - ADDENDUM #1**

PROJECT NO: 1625	DRAWN BY: JPC	SCALE: 1/8"=1'-0"	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17
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Rochester City School District  
 James Monroe High School  
 164 Alexander Street  
 Rochester, New York

SED #: 26-16-00-01-0-107-029  
 DWT #: 26-16-00-01-7-999-019

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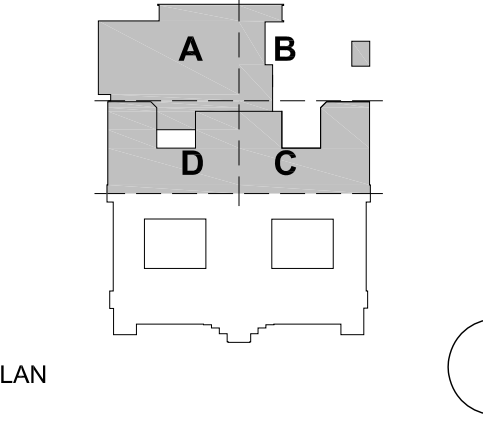
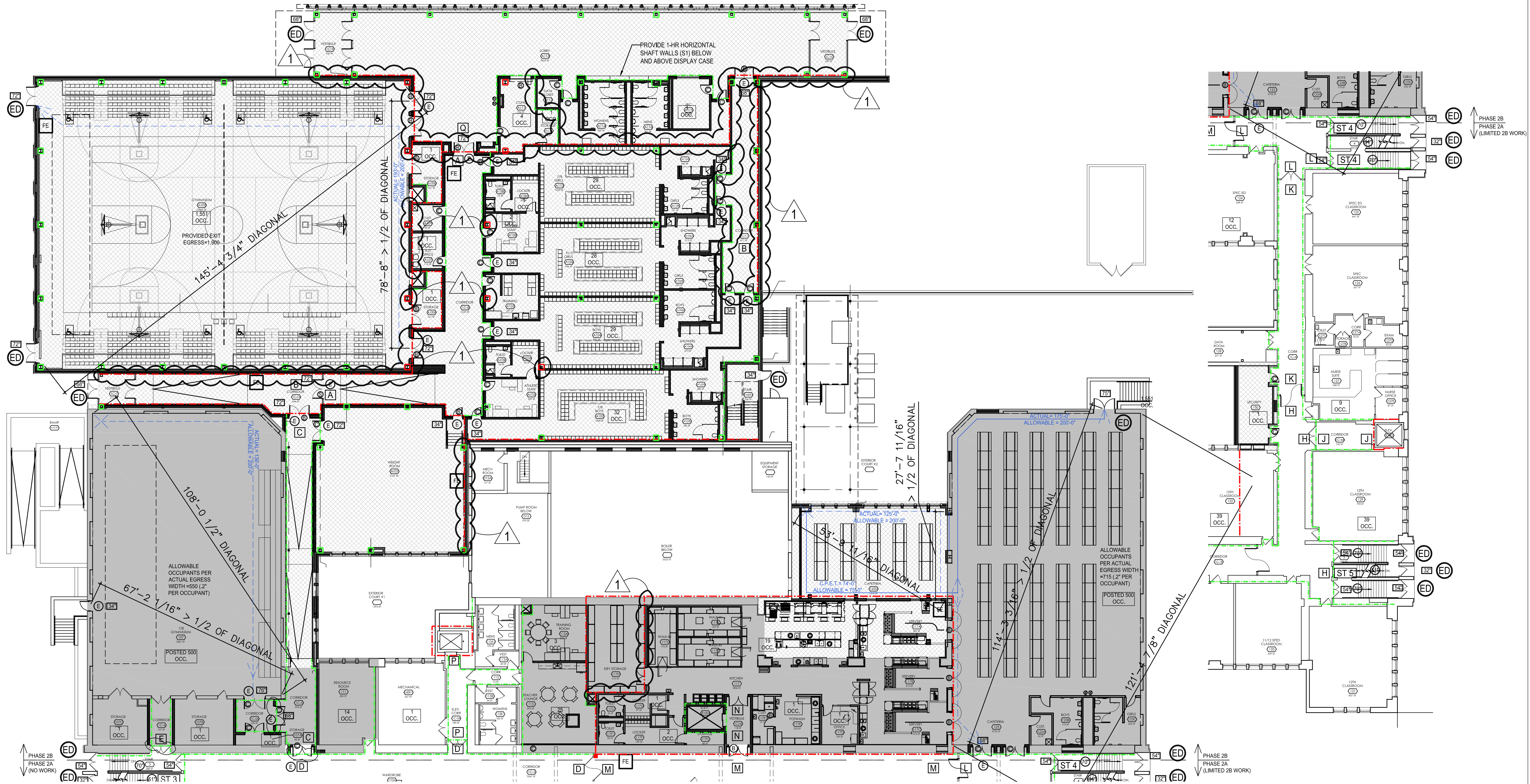
# LIFE SAFETY INFORMATION

THIS DRAWING IS IN COLOR, ALL REPRODUCTIONS SHALL BE IN COLOR

BUILDING INFORMATION	LEGEND	SMOKE ZONES	KEY NOTES:
<p>APPLICABLE BUILDING CODES: INTERNATIONAL BUILDING CODES 2015 2015 NYS SUPPLEMENTS NYS ED MANUAL OF PLANNING STANDARDS (1998)</p> <p>USES: E (EDUCATIONAL) MIXED OCCUPANCY: NO</p> <p>CONSTRUCTION CLASSIFICATION: TYPE 1B (EXISTING) TYPE 1B (NEW CONSTRUCTION) PER T503.3 AND T504.4</p> <p>GROSS ADDITION BUILDING AREA - 44,249 SF BASEMENT: 2,924 SF FIRST FLOOR: 41,004 SF SECOND FLOOR: 321 SF</p> <p>GROSS LEVEL 2 ALTERATION BUILDING AREA- 42,256 SF BASEMENT: 21,831 SF FIRST FLOOR: 18,795 SF SECOND FLOOR: 1,632 SF</p> <p>GROSS LEVEL 1A ALTERATION / REPAIR BUILDING AREA- 19,745 SF BASEMENT: 6,724 SF FIRST FLOOR: 2,919 SF SECOND FLOOR: 10,102 SF</p> <p>GROSS ADDITION / ALTERATION BUILDING AREA: 106,252 SF</p>	<p>LEGEND FOR LS103 ONLY ADDITION: 1 HR PROTECTIVE ROOF FRAMING (PER T601 SUB A) U.O.N. 2 HR PROTECTIVE FLOOR FRAMING (PER T601) HEAVY TIMBER CONSTRUCTION (NO PROTECTIVE REQUIRED (PER PER T601 SUB C)) U.O.N. NO PROTECTIVE REQUIRED (PER PER T601 SUB B)</p> <p>ADDITION SCOPE OF WORK DESCRIPTION LEVEL 2 ALTERATION SCOPE OF WORK DESCRIPTION REPAIRS / LEVEL 1 ALTERATION SCOPE OF WORK DESCRIPTION</p> <p>DOOR RATING B-1 1/2 HR C-1 HR S- SMOKE MEANS OF EGRESS EXIT DISCHARGE.</p> <p>EXIT DOOR EGRESS WINDOW FIRE EXTINGUISHER AND CABINET EYE WASH STATION EYE WASH SHOWER STATION WIDTH OF EGRESS DOOR OR DISCHARGE WIDTH OF EGRESS STAIR</p> <p>TRAVEL DISTANCE 2-HOUR FIRE RATING 1-HOUR FIRE RATING HOUR FIRE RATING   UL DESIGN</p>	<p>CORRIDOR SMOKE ZONE STAIR SMOKE ZONE</p> <p>EACH CLASSROOM, SCIENCE ROOM(EARTH, BIOLOGY, GENERAL PHYSICS AND CHEMISTRY), VOCAL, BUSINESS, LAW, HILLSIDE CENTER FOR YOUTH, IBERO, RESOURCE, NURSE SUITE, LIBRARY, SPECIAL EDUCATION, ART, COMPUTER (MULTI MEDIA), BAND ROOM AND ANY OTHER ROOM MEANT FOR PUPIL OCCUPANCY IS A SEPARATE SMOKE ZONE. PARTITION PERIMETER AND, ANY AND ALL OPENINGS AND PENETRATIONS (PARTIAL OR THROUGH) SHALL BE SEALED TO PREVENT SMOKE PASSAGE.</p>	<p>GENERAL NOTES: REFER TO A800 FOR WALL CONSTRUCTION AND UL DESIGN INFORMATION.</p>



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RCSD  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT #: 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

REV. #	DESCRIPTION	DATE

JOB NO.	1625
SCALE	1/16"=1'-0"
ISSUE DATE	06/30/17
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CHECKED BY	CJS

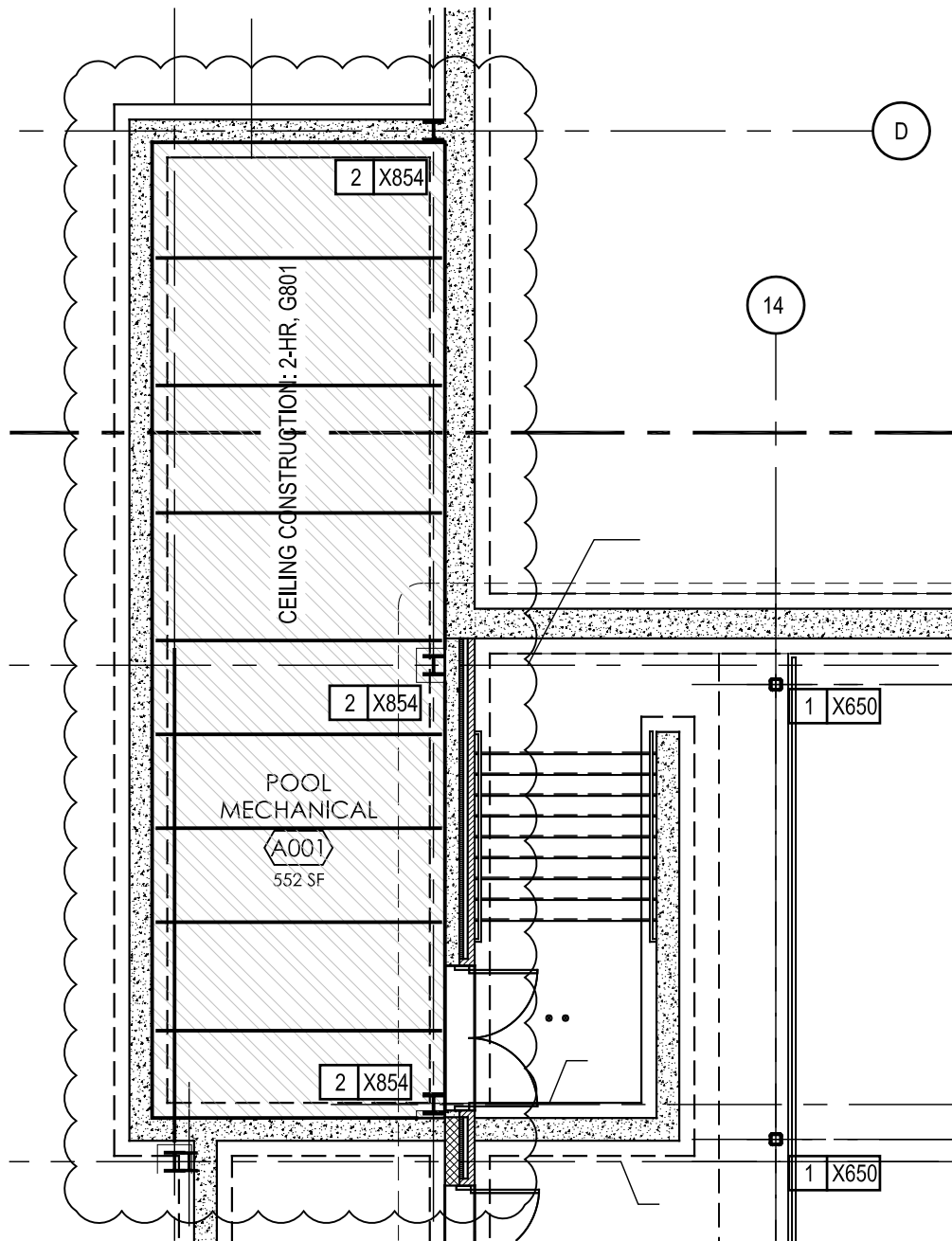
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FIRST FLOOR  
LIFE SAFETY PLAN

1 LIFE SAFETY- FIRST FLOOR PLAN  
1/16"=1'-0"

2 LIFE SAFETY- FIRST FLOOR PLAN  
1/16"=1'-0"

LS-101



DRAWING REFERENCE NUMBER(S): <b>LS-100.1</b>
DRAWING NUMBER: <b>ADA-002</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>POOL MECH. A001 FIRE RATING ADDNDM#1</b>				
PROJECT NO: 1625	DRAWN BY: JPC	SCALE: 1/8"=1'-0"	ISSUE DATE: 6/30/17	REVISION DATE: 07/14/17

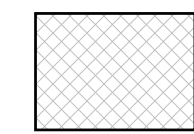
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**ROOF REPLACEMENT LEGEND**

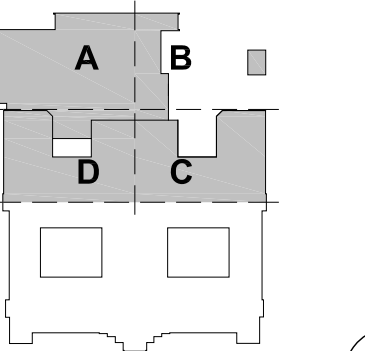
 COMPLETELY REMOVE EXISTING ROOF SYSTEM INCLUDING ALL ASSOCIATED FLASHING, FASTENERS & MASTICS DOWN TO EXISTING SUBSTRATES. PREPARE FOR NEW ROOFING.

**FLAG NOTES LEGEND**

- ① DEMO EXIST MTL BASE FLASHING – PREPARE SURFACES FOR NEW CONSTRUCTION
- ② DEMO EXISTING OUTER WYTHE OF BRICK, 8" HIGH AT LOCATION OF FUTURE THRU WALL FLASHING TIE-IN TO NEW ROOF SYSTEM.
- ③ DEMO EXIST ROOF DRAIN & ASSOCIATED ATTACHMENTS – REFERENCE PLUMBING DWG'S – PREPARE FOR NEW CONSTRUCTION
- ④ DEMO EXIST ROOF VENT – COORDINATE W/ PLUMBING DWG'S
- ⑤ DEMO EXIST MECHANICAL EQUIPMENT – REFERENCE MECHANICAL DRAWINGS.
- ⑥ SAW CUT HOLE IN CONCRETE ROOF SLAB – EA. CONTRACTOR TO COORDINATE SIZE & LOCATION

**ROOF GENERAL NOTES:**

1. REFERENCE A001 FOR GENERAL NOTES.
2. ALL EXISTING ROOFING TO REMAIN TO BE PROTECTED FROM DAMAGE. ALL NEW ROOFING/PATCHING TO BE DONE BY A QUALIFIED ROOFER IN ORDER TO MAINTAIN THE EXISTING ROOF'S WARRANTY. AT COMPLETION OF ALL NEW WORK THE EXISTING ROOF SHALL CONTINUE TO HAVE ITS WARRANTY (I.E. SHALL NOT BE VOIDED DUE TO NEW WORK).
3. CONTRACTOR SHALL MAINTAIN ROOFING WATER TIGHTNESS DURING ALL DEMOLITION INCLUDING MASONRY AND ROOF WORK.
4. ACCESS TO ROOF AREAS FOR WORKERS AND MATERIALS SHALL BE BY LIFT OR CRANE.
5. ALL ROOF AREAS NOT INDICATED WITH A HATCH ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. ALL ROOF ELEMENTS WITHOUT A NOTE ARE EXISTING TO REMAIN.
6. REFER TO ROOF REPLACEMENT LEGEND FOR TYPES & AREAS OF ROOF DEMOLITION WORK.
7. ALL EQUIPMENT, VENTS & DRAINS NOT LISTED AS BEING DEMO'D ARE EXISTING TO REMAIN. CONTRACTOR TO DISCONNECT, REMOVE, STORE & PROTECT EXISTING TO REMAIN EQUIPMENT ON ROOF AS REQUIRED TO ACCOMPLISH NEW ROOF INSTALLATION.
8. SLOPES AT CONCRETE ROOFS ARE EXISTING TO REMAIN.



KEY PLAN



RCSD  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
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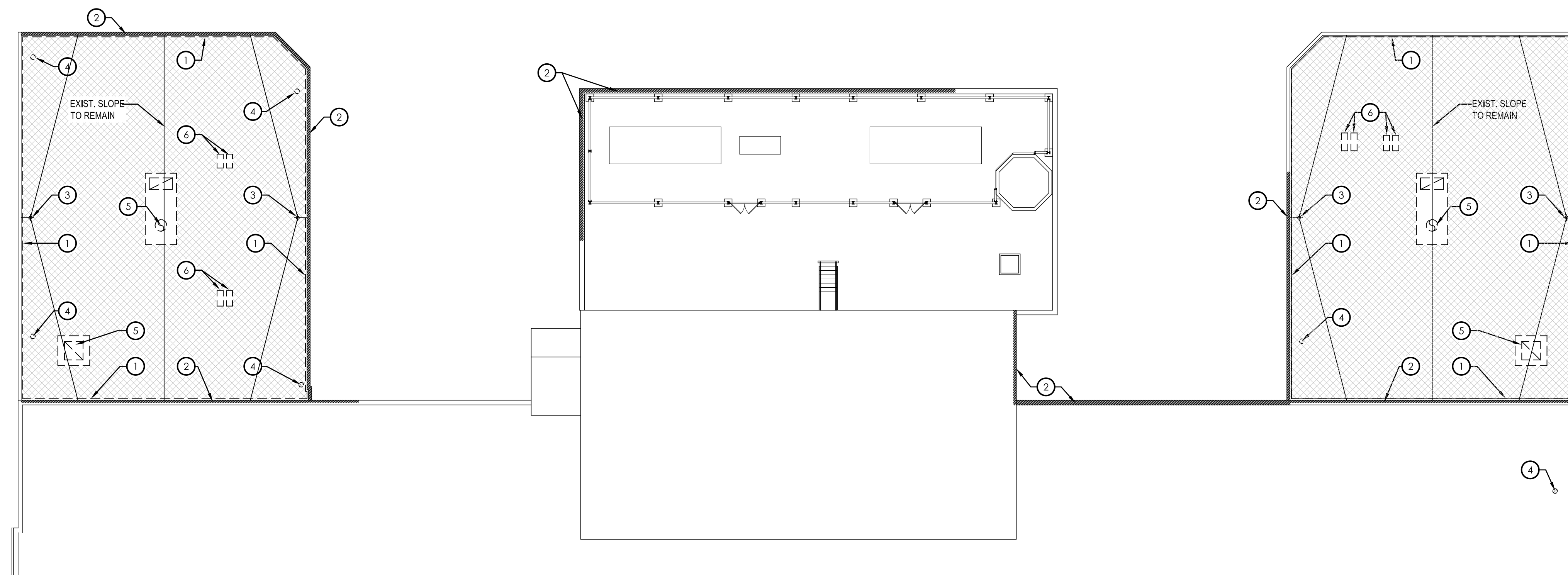
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JOB NO.	1625
SCALE	1/16" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	RWZ, EG
CHECKED BY	CJ

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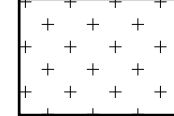
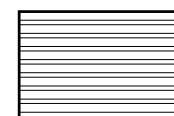
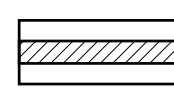
**ROOF LEVEL  
DEMOLITION PLAN**

**D-103**





**ROOF REPLACEMENT LEGEND:**

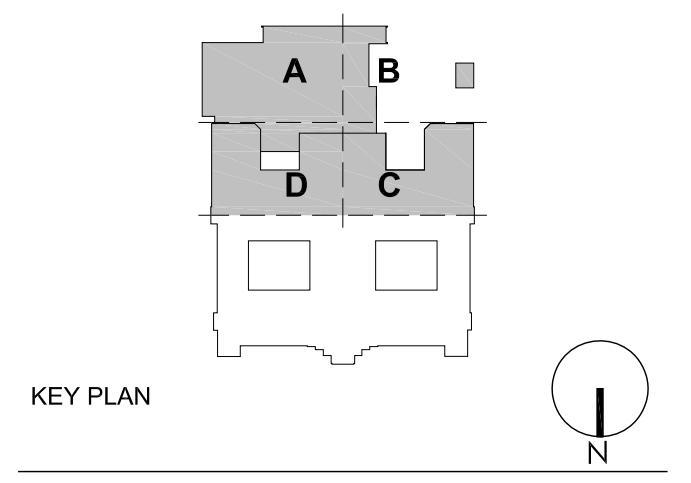
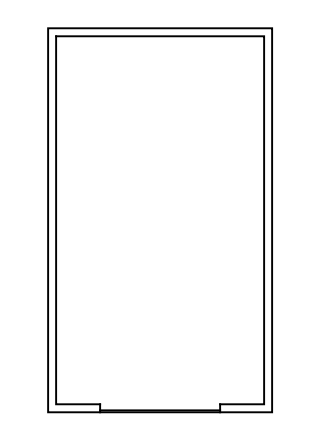
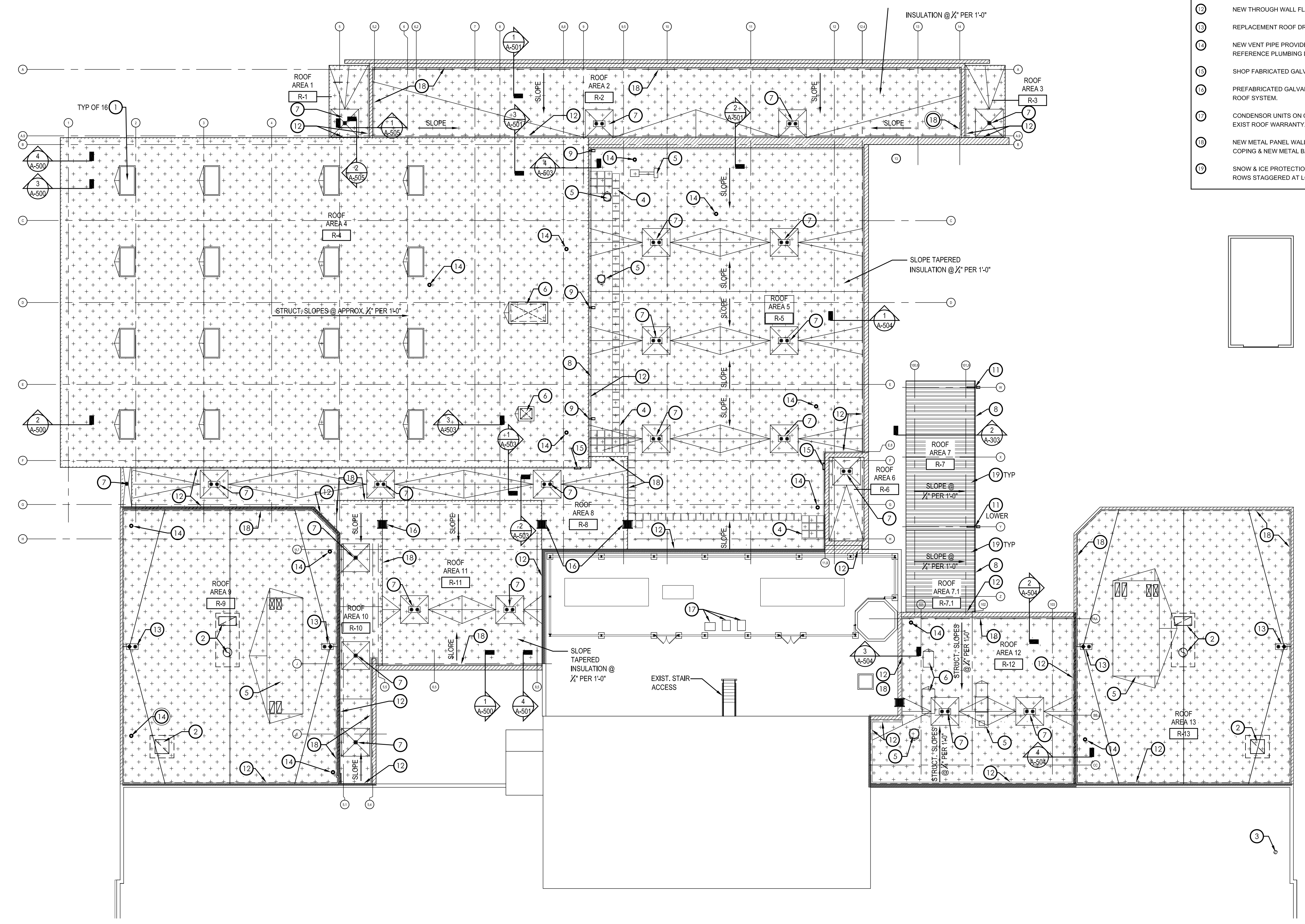
-  ROOF TYPE 1 - BASE BID - FULLY ADHERED EPDM SYST ALTERNATE NO.3 - SBS SYSTEM (REF. SPECIFICATION)
-  ROOF TYPE 2 - CORRUGATED METAL ROOF
-  INDICATES AREA OF NEW METAL COPING @ PARAPET/ROOF EDGE

**GENERAL ROOFING NOTES:**

1. TYPE 1 - ROOF ASSEMBLY (NEW ROOF AREAS):
  - 1.1. FULLY ADHERED SINGLE PLY EPDM ROOFING MEMBRANE.
  - 1.2. 1/2" HD COVER BOARD
  - 1.3. RIGID INSULATION
  - 1.4. VAPOR BARRIER (ACTS AS TEMPORARY ROOF)
  - 1.5. 1/2" GYPSUM FIBER ROOF BOARD.
2. INSULATION: ROOFING INSULATION TO BE 20 PSI POLYISOCYANURATE WITH AN R-VALUE OF 5.7 PER INCH. PROVIDE TAPERED INSULATION TO SLOPE TOWARDS ROOF DRAINS. PROVIDE R-VALUE OF R-30 TOTAL INCLUDING ALL INSULATION LAYERS & 1/2" COVER BOARD.
3. PROVIDE R-VALUE OF R-5 @ EQUIPMENT & SKYLIGHT CURBS.
4. AT EXISTING ROOF AREAS TO RECEIVE NEW: CLEAN SUBSTRATE & PREP SURFACE TO RECEIVE NEW ROOFING PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS. PERFORM ANY NECESSARY INSPECTIONS OF EXISTING SUBSTRATE REQUIRED BY MANUFACTURER TO RECEIVE ROOFING WARRANTY AS SPECIFIED.
5. ALL DIMENSIONS, MATERIAL INDICATIONS AND NOTES SHOWN ON ONE DRAWING SHALL APPLY TO ALL OTHER SIMILAR DRAWINGS UNLESS OTHERWISE NOTED
6. PATCH & REPAIR ALL EXISTING FINISHES TO REMAIN TO MATCH EXISTING ADJACENT CONDITIONS FOR THOSE EXISTING FINISHES DAMAGED OR EXPOSED DURING CONSTRUCTION. FINISH AND REPAIR SHALL RESTORE CONTINUITY OF EXISTING ADJACENT FINISH. PROVIDE NEW MATERIALS WHERE MISSING OR WHERE CONTINUITY OF FINISH CANNOT BE ACHIEVED BY REPAIR. ANY PATCHING TO EXISTING ROOF MUST BE COMPATIBLE WITH EXISTING ROOF SYSTEM. PATCH PER ROOFING MFR RECOMMENDATIONS TO MAINTAIN WARRANTY ON EXISTING ROOF.

**ROOF PLAN KEY NOTES:**

- 1 SKYLIGHT WITH PREFABRICATED CURB & TAPERED CRICKET TO ALLOW FOR POSITIVE DRAINAGE.
- 2 ROOF SLAB INFILL REF. STRUCT DWG'S
- 3 PATCH PENETRATION THROUGH EXISTING ROOFING WHERE VENT PIPE HAS BEEN REMOVED. PATCH TO MATCH EXISTING ROOFING SYSTEM PER MFR RECOMMENDATION TO MAINTAIN WARRANTY.
- 4 ROOF PAVER SYSTEM
- 5 NEW MECHANICAL EQUIPMENT WITH PREFABRICATED CURB & TAPERED CRICKET TO ALLOW FOR POSITIVE DRAINAGE. REFERENCE MECHANICAL DRAWINGS.
- 6 LOUVERED INTAKE/RELIEF WITH PREFABRICATED CURB & TAPERED CRICKET TO ALLOW FOR POSITIVE DRAINAGE - REFERENCE MECHANICAL DRAWINGS.
- 7 ROOF DRAIN & PREFABRICATED CENTER DRAIN SUMP. PROVIDE TAPERED INSULATION TO SLOPE TOWARDS DRAIN AS INDICATED; SLOPE TO BE 1/4" PER 1'-0" MIN. REFERENCE PLUMBING DRAWINGS FOR MORE INFO.
- 8 5"x8" GUTTER.
- 9 4"x5" DOWNSPOUT TO NEW CONCRETE SPLASH BLOCK.
- 10 3"x5" GUTTER.
- 11 2"x4" DOWNSPOUT TO NEW CONCRETE SPLASH BLOCK.
- 12 NEW THROUGH WALL FLASHING AT MASONRY WALL.
- 13 REPLACEMENT ROOF DRAIN - REFERENCE PLUMBING DRAWINGS.
- 14 NEW VENT PIPE PROVIDE PIPE SEAL FLASHING AROUND PENETRATION - REFERENCE PLUMBING DRAWINGS.
- 15 SHOP FABRICATED GALVANIZED LADDER, MOUNTED TO BRICK WALL.
- 16 PREFABRICATED GALVANIZED LADDER PLATFORM, STRIP SUPPORTS INTO ROOF SYSTEM.
- 17 CONDENSOR UNITS ON CURBS - REF. FOOD SERVICE DRAWINGS. MAINTAIN EXIST ROOF WARRANTY.
- 18 NEW METAL PANEL WALL SYSTEM @ PARAPET, TIED INTO NEW METAL COPING & NEW METAL BASE FLASHING - REFERENCE DETAILS.
- 19 SNOW & ICE PROTECTION (SNOW GUARDS) BY TYPE 2 ROOF MANUF. - (2) ROWS STAGGERED AT LOW EDGE OF ROOF AT 24" O.C.



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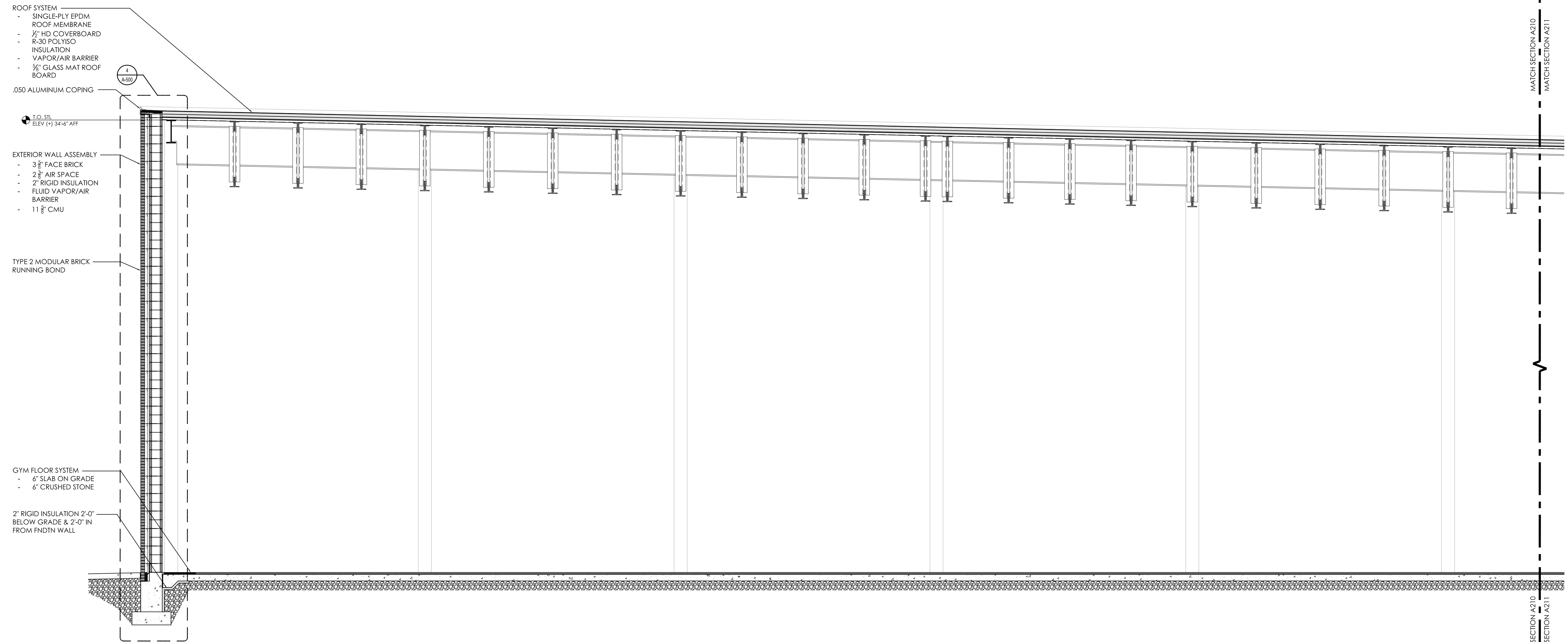
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ISSUE DATE	06/30/17
DRAWN BY	RWZ, EG
CHECKED BY	CJ

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**ROOF LEVEL  
FLOOR PLAN**

**A-103**



ROOF SYSTEM  
- SINGLE-PLY EPDM ROOF MEMBRANE  
- 1/2" HD COVERBOARD  
- R-30 POLYISO INSULATION  
- VAPOR/AIR BARRIER  
- 3/8" GLASS MAT ROOF BOARD

.050 ALUMINUM COPING

L.O. STL  
ELEV (+) 34'-6" AFF

EXTERIOR WALL ASSEMBLY  
- 3 3/8" FACE BRICK  
- 2 3/8" AIR SPACE  
- 2" RIGID INSULATION  
- FLUID VAPOR/AIR BARRIER  
- 11 5/8" CMU

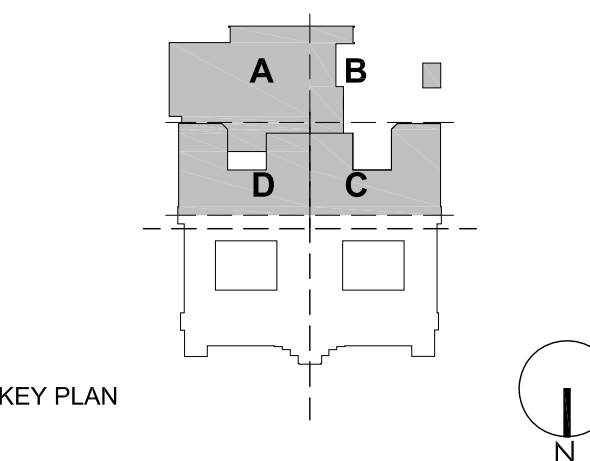
TYPE 2 MODULAR BRICK  
RUNNING BOND

GYM FLOOR SYSTEM  
- 6" SLAB ON GRADE  
- 6" CRUSHED STONE

2" RIGID INSULATION 2'-0"  
BELOW GRADE & 2'-0" IN  
FROM FNDTN WALL

MATCH SECTION A210  
MATCH SECTION A211

MATCH SECTION A210  
MATCH SECTION A211



KEY PLAN

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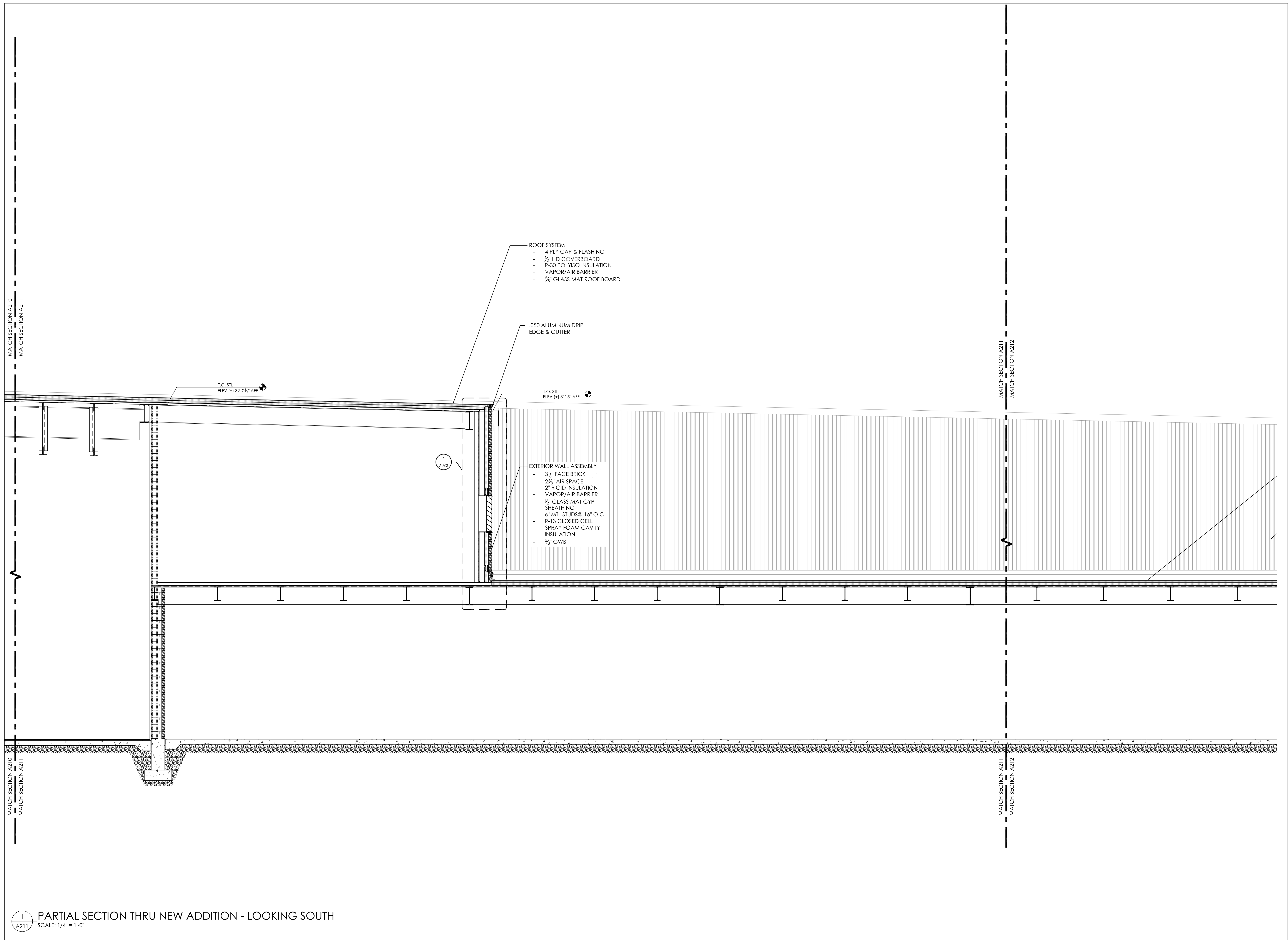
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JOB NO. 1625  
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ISSUE DATE 06/30/17  
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LONGITUDINAL  
BUILDING SECTION  
LOOKING SOUTH

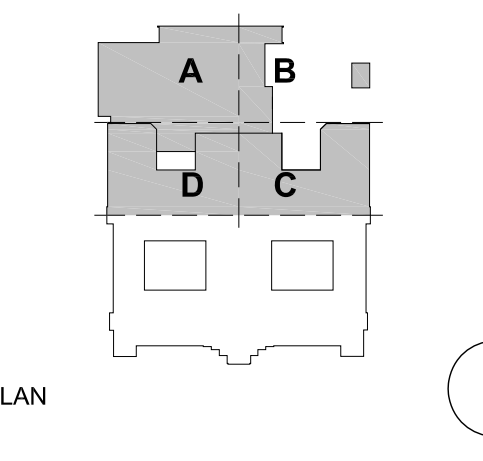
**A-210**



1 PARTIAL SECTION THRU NEW ADDITION - LOOKING SOUTH  
A211 SCALE: 1/4" = 1'-0"



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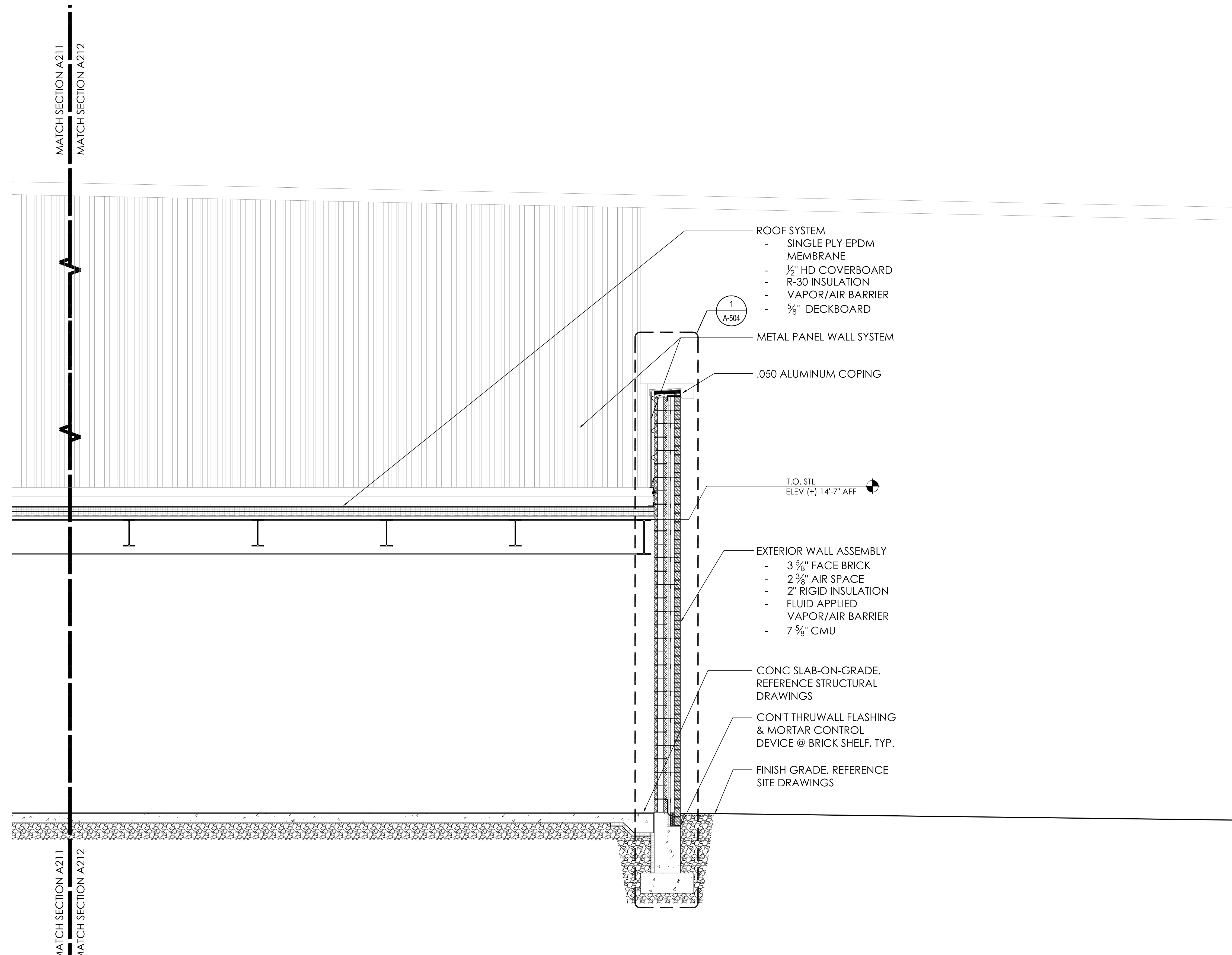
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SCALE	1/4" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	RWZ, EG
CHECKED BY	CJ

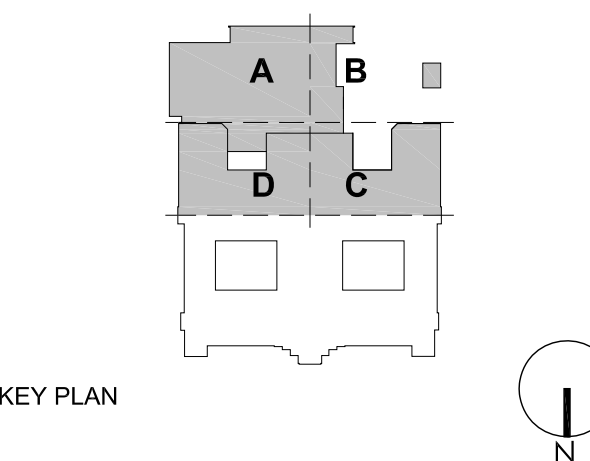
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LONGITUDINAL  
BUILDING SECTION  
LOOKING SOUTH

**A-211**



1 A212 PARTIAL SECTION THRU NEW ADDITION - LOOKING SOUTH  
SCALE: 1/4" = 1'-0"



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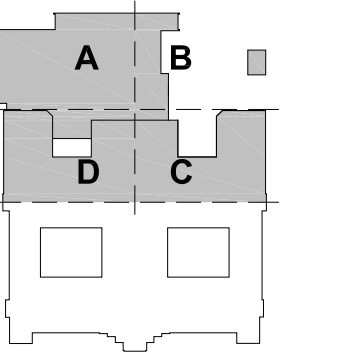
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ISSUE DATE	06/30/17
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CHECKED BY	CJ

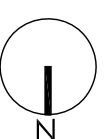
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LONGITUDINAL  
BUILDING SECTION  
LOOKING SOUTH

**A-212**



KEY PLAN



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SCALE	1/4" = 1'-0"
ISSUE DATE	06/30/17
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CROSS  
BUILDING SECTION  
LOOKING WEST

**A-213**

ROOF SYSTEM  
- SINGLE PLY EPDM ROOF MEMBRANE  
- 1/2" HD COVERBOARD  
- R-30 POLYISO INSULATION  
- VAPOR/AIR BARRIER  
- 3/8" GLASS MAT ROOF BOARD

.050 ALUMINUM COPING

EXTERIOR WALL ASSEMBLY  
- 4" PRECAST CONC PANEL  
- 6" AIR SPACE  
- 2" RIGID INSULATION  
- VAPOR/AIR BARRIER  
- 1/2" GLASS MAT GYP SHEATHING  
- 6" MTL STUDS @ 16" O.C.  
- R-13 CLOSED CELL SPRAY FOAM CAVITY INSULATION

DOUBLE GLAZED ALUMINUM STOREFRONT SYSTEM

EXTERIOR WALL ASSEMBLY  
- 4" PRECAST CONC PANEL  
- 1 1/2" AIR SPACE  
- 2" RIGID INSULATION  
- FLUID APPLIED VAPOR/AIR BARRIER  
- 7 1/2" CMU

PRECAST BRISE SOLEIL SYSTEM

THRUWALL FLASHING @ TOP OF FOUNDATION

REFERENCE STRUCTURAL DRAWINGS FOR FOUNDATIONS, TYP.

TYPE 3 ACCENT BRICK: TO PROJECT 1" FROM FACE OF BUILDING

TYPE 2 MODULAR BRICK RUNNING BOND

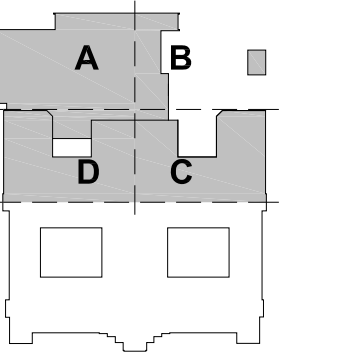
ACCENT BRICK: 2" PROUD OF BUILDING LINE

ACCENT BRICK: FLUSH WITH BUILDING LINE

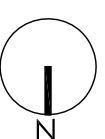
1 PARTIAL SECTION THRU NEW ADDITION - LOOKING WEST  
SCALE: 1/4" = 1'-0"

MATCH SECTION A213  
MATCH SECTION A214

MATCH SECTION A213  
MATCH SECTION A214



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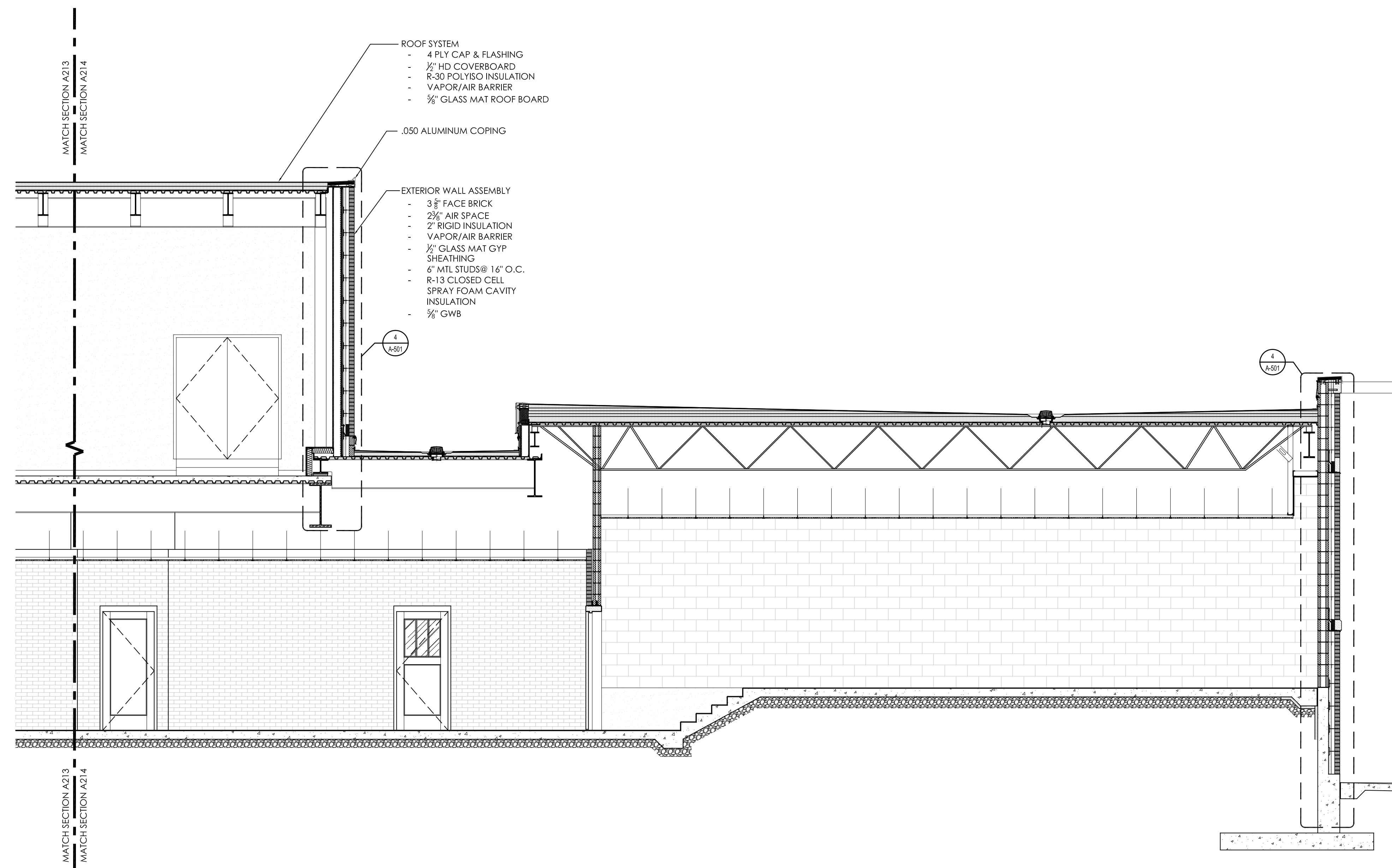
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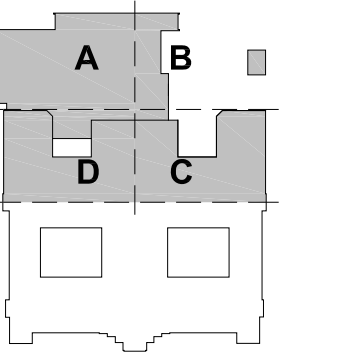
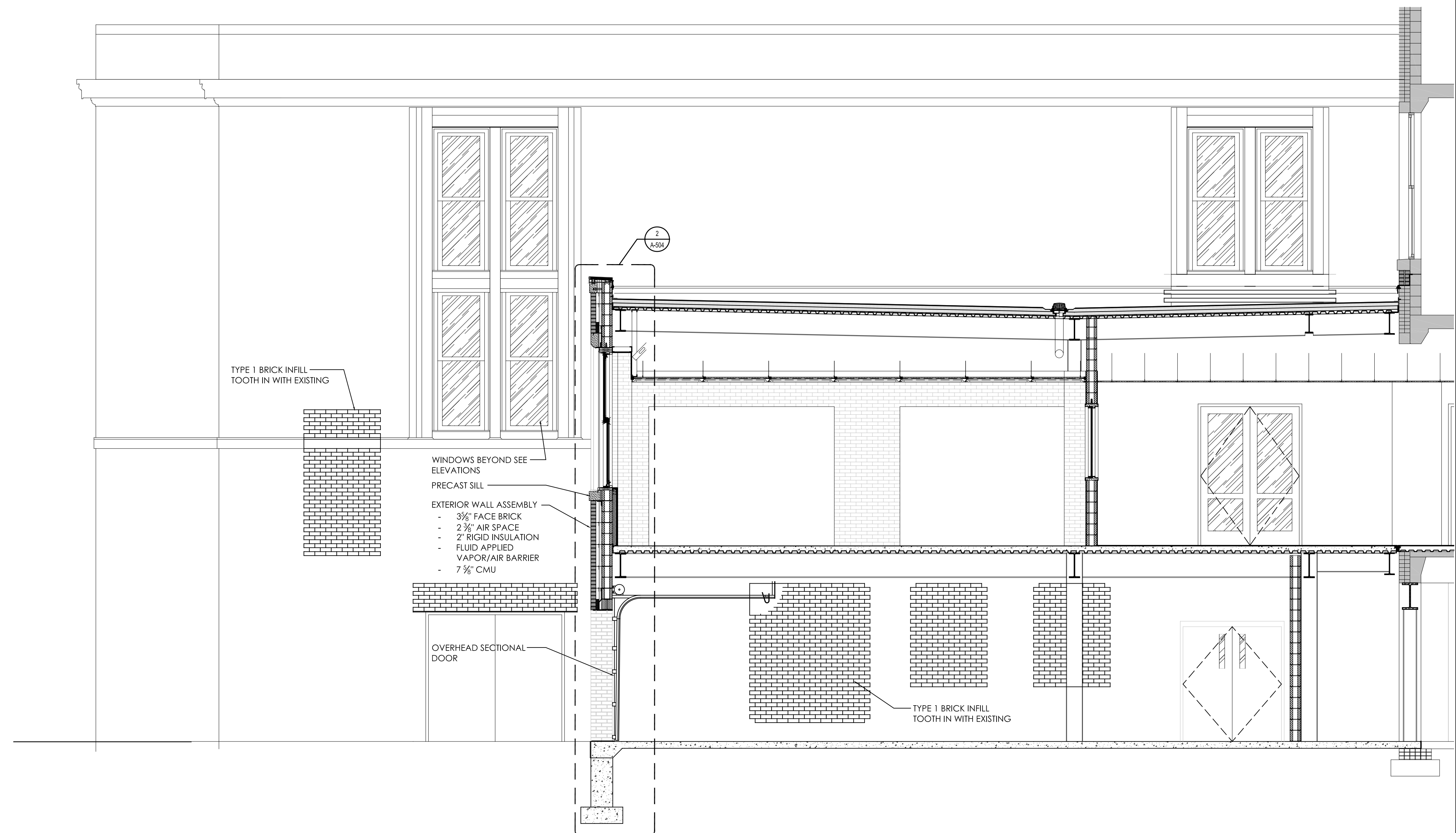
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**CROSS BUILDING SECTION  
LOOKING WEST**

**A-214**



**1**  
A214 PARTIAL SECTION THRU NEW ADDITION - LOOKING WEST  
SCALE: 1/4" = 1'-0"



KEY PLAN



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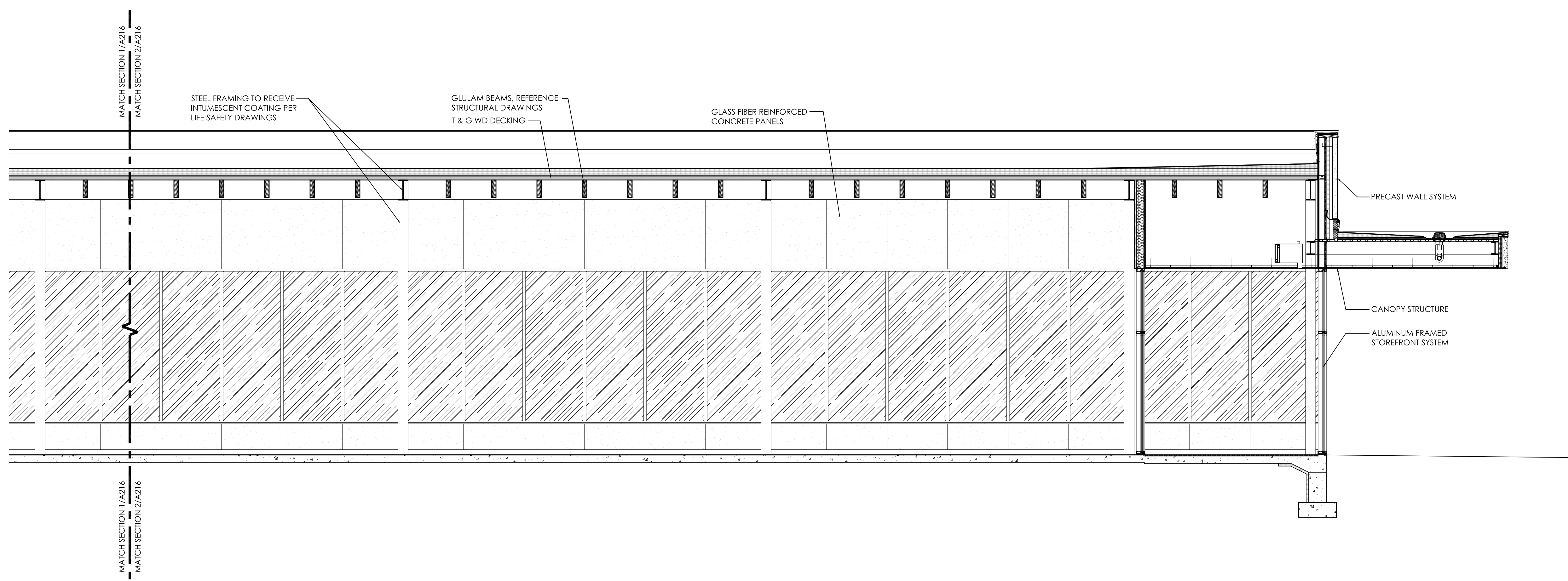
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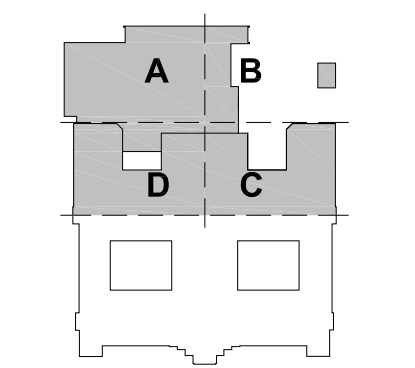
CROSS  
BUILDING SECTION  
LOOKING WEST

**A-215**

1 PARTIAL SECTION THRU NEW ADDITION - LOOKING WEST  
A215 SCALE: 1/4" = 1'-0"



**2** PARTIAL SECTION THRU NEW ADDITION - LOOKING SOUTH  
A216 SCALE: 1/4" = 1'-0"



KEY PLAN

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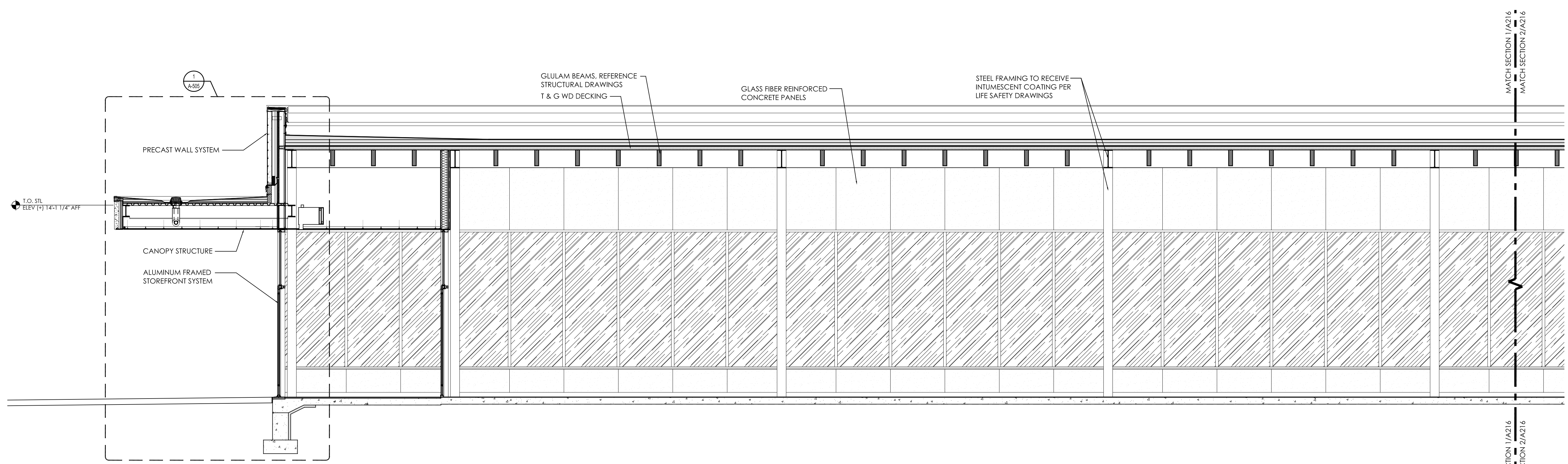
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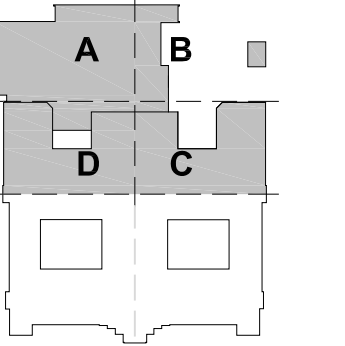
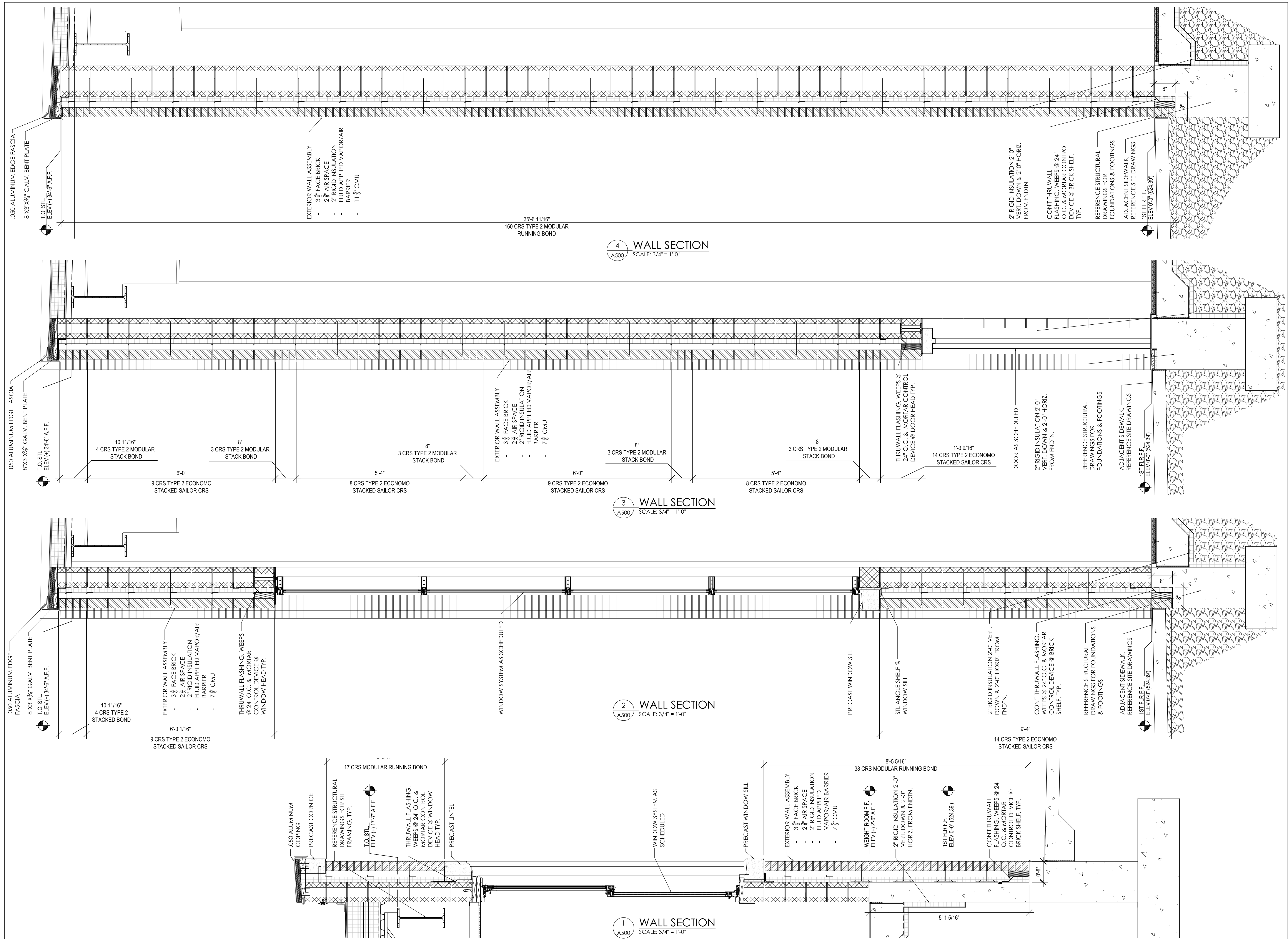
LONGITUDINAL  
BUILDING SECTION  
LOOKING SOUTH

**A-216**



**1** PARTIAL SECTION THRU NEW ADDITION - LOOKING SOUTH  
A216 SCALE: 1/4" = 1'-0"





KEY PLAN

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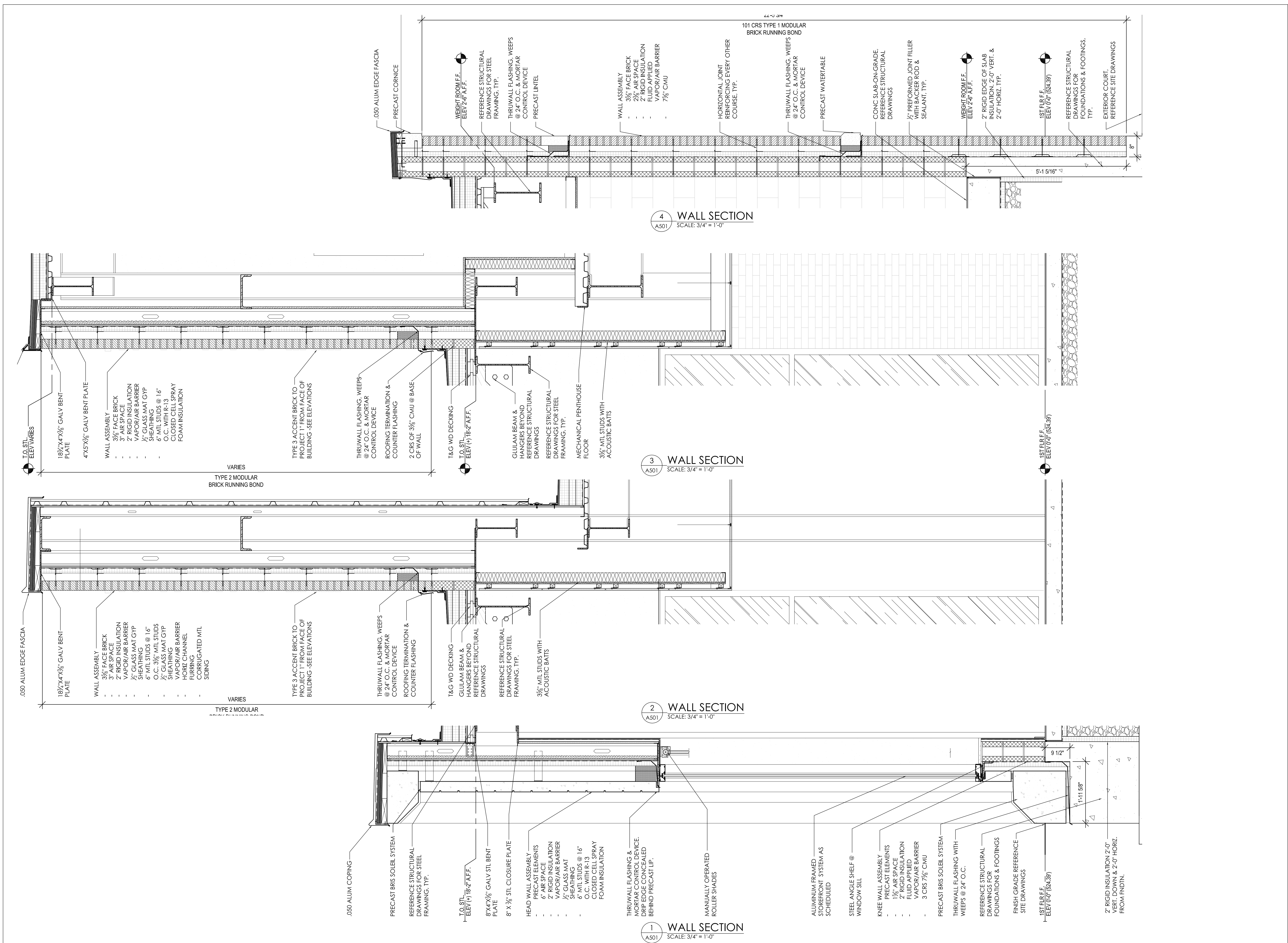
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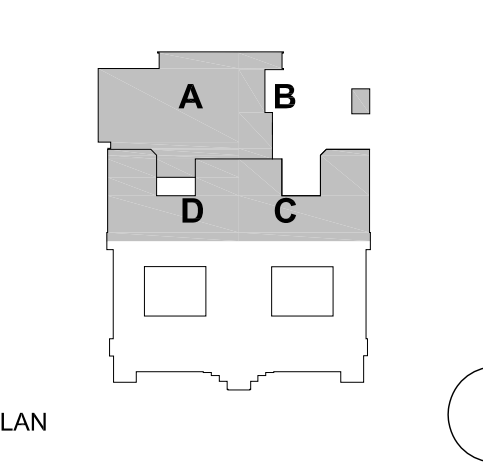
WALL SECTIONS

**A-500**

BID SET



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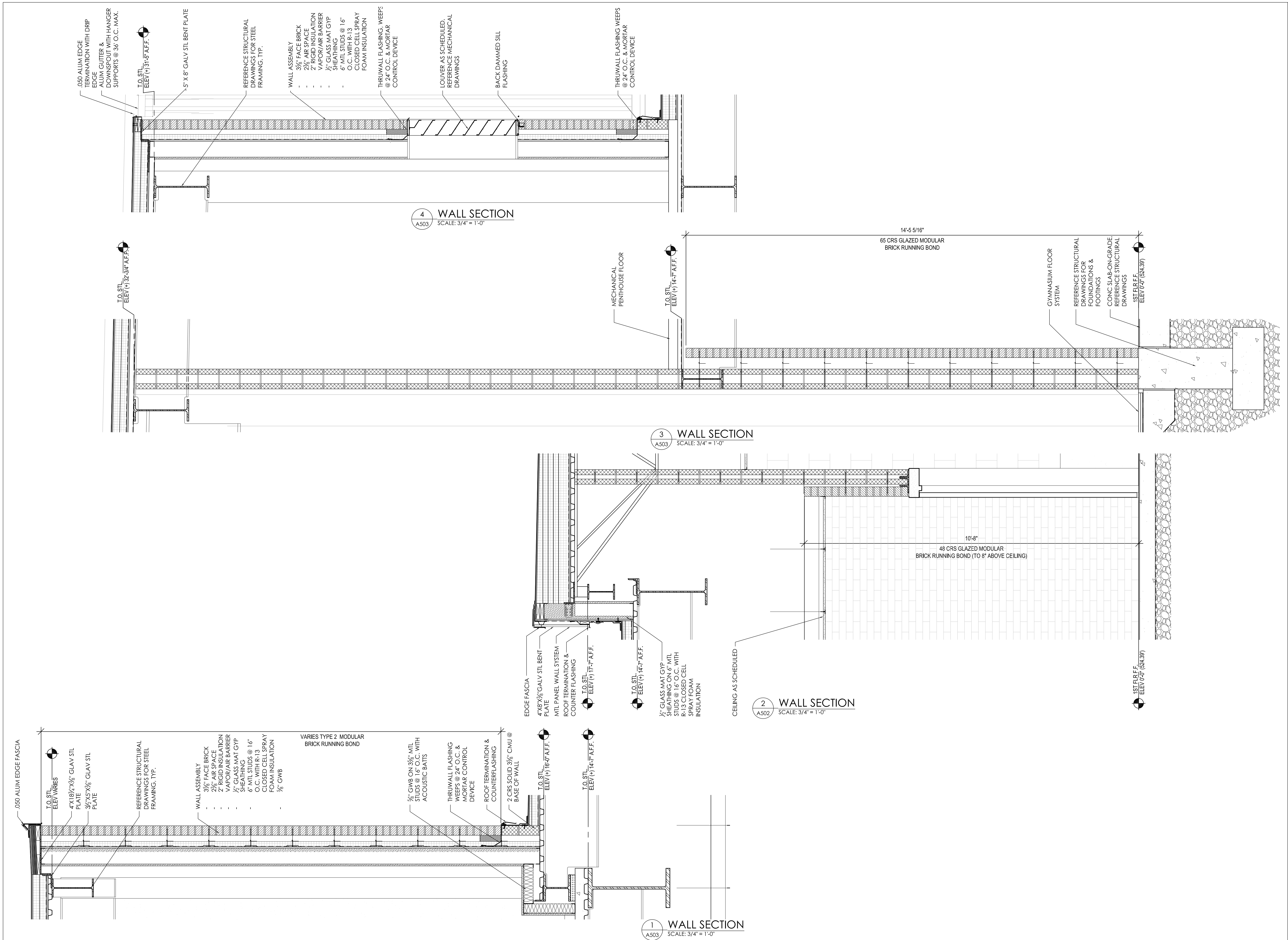
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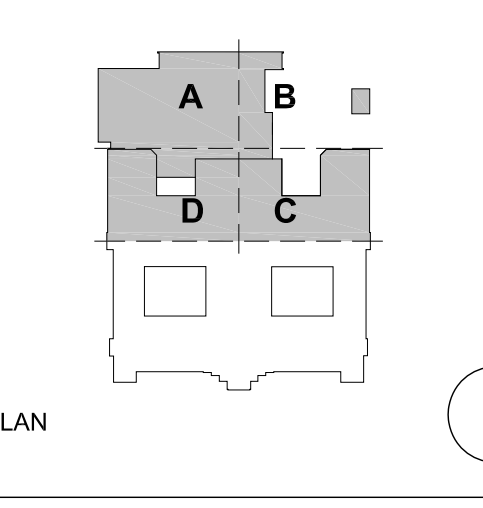
WALL SECTIONS

A-501

BID SET



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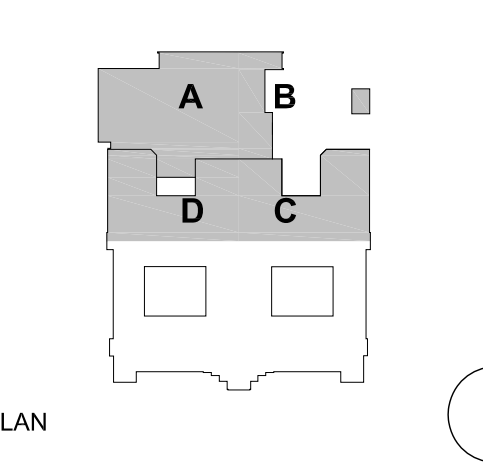
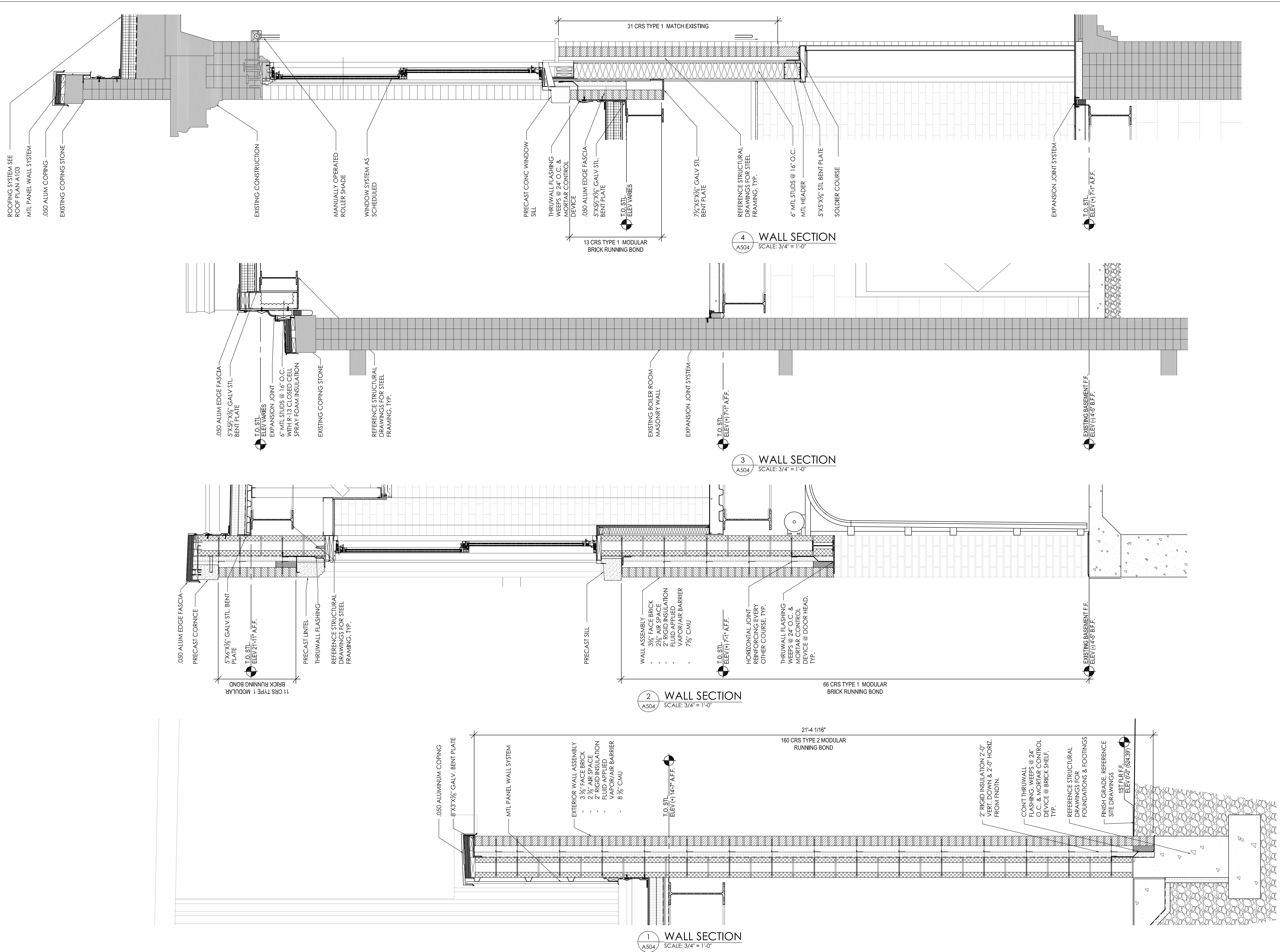
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WALL SECTIONS

**A-503**

BID SET



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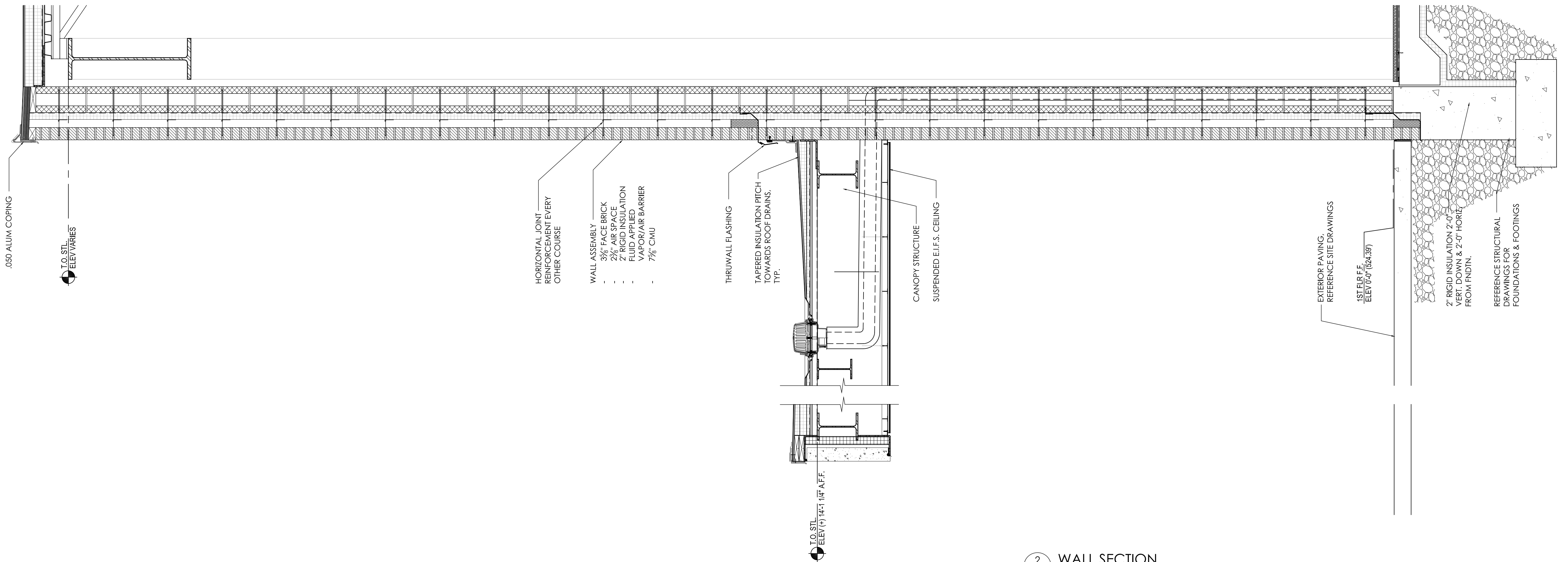
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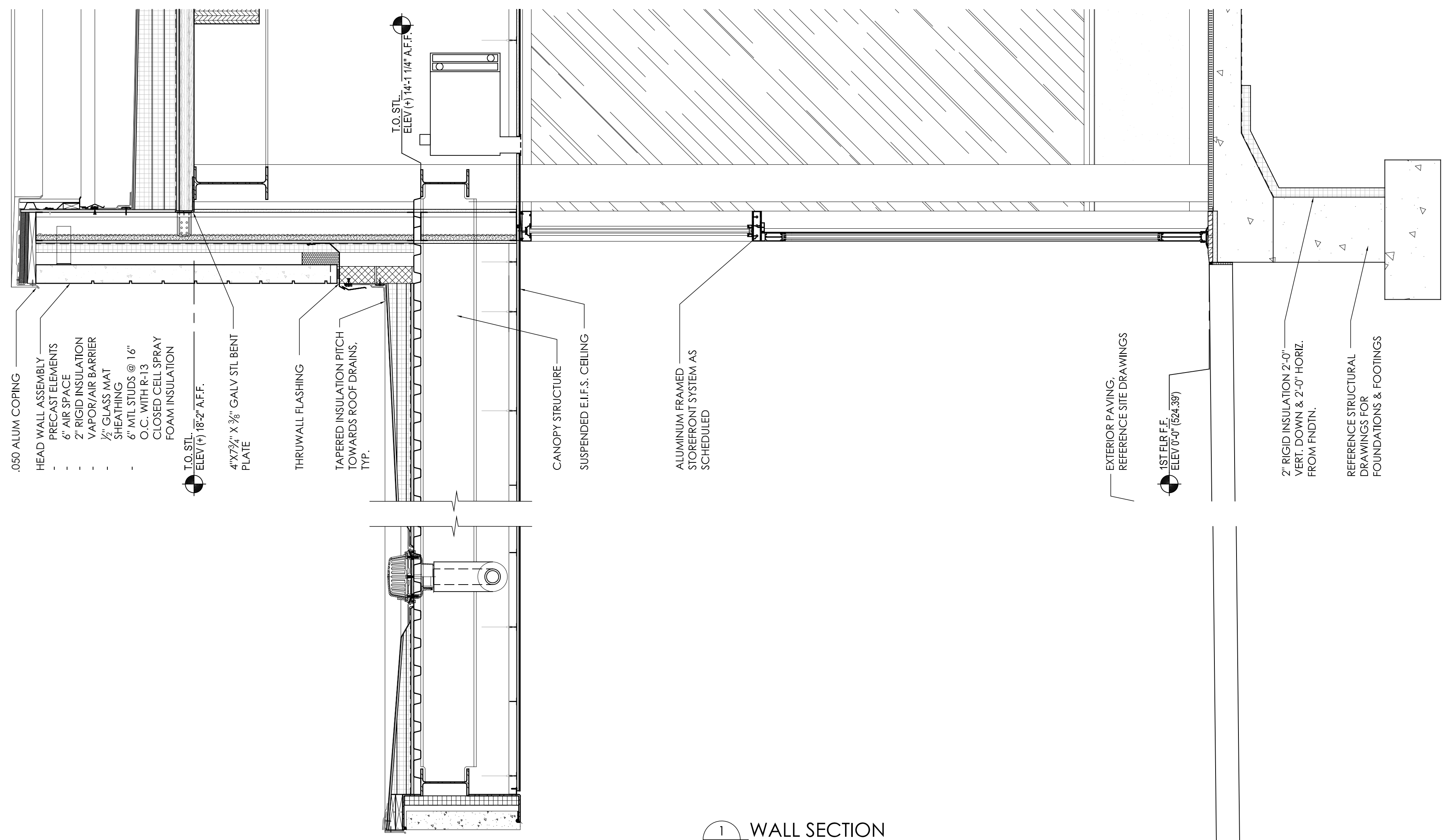
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WALL SECTIONS



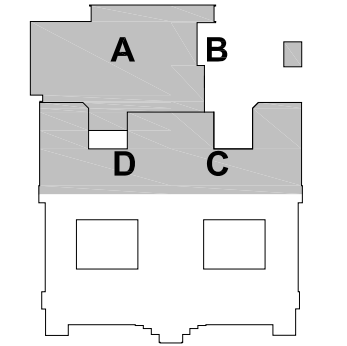
2 WALL SECTION  
A505 SCALE: 3/4" = 1'-0"



1 WALL SECTION  
A505 SCALE: 3/4" = 1'-0"



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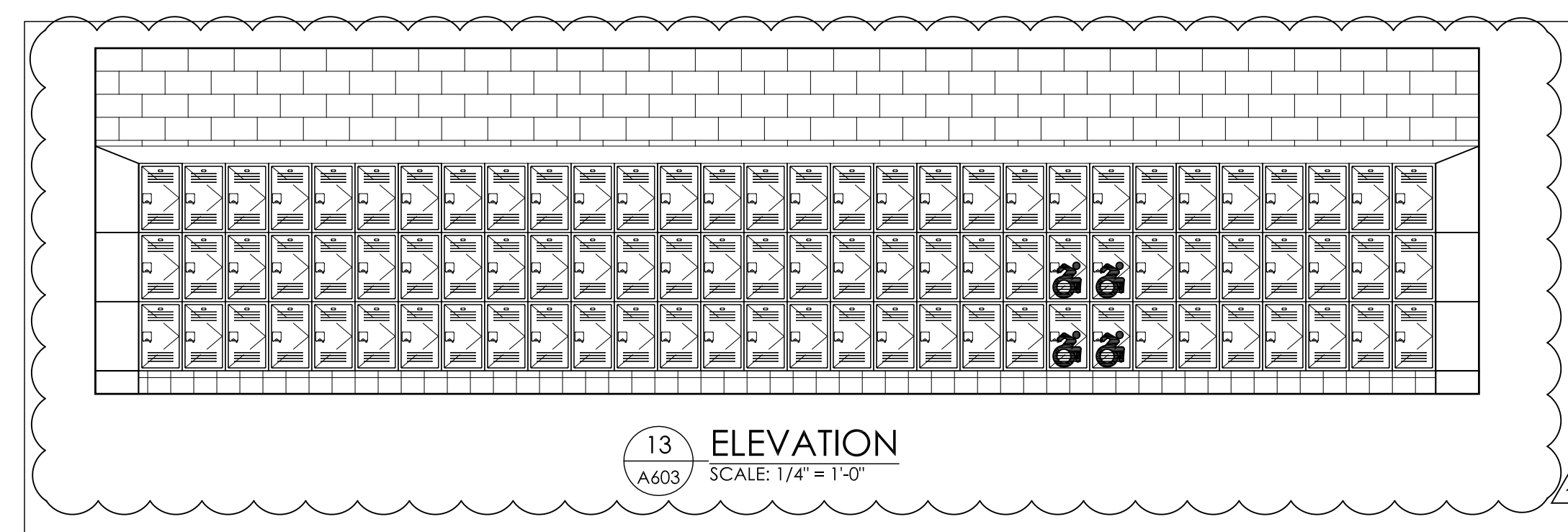
JOB NO.	1625
SCALE	AS NOTED
ISSUE DATE	06/30/17
DRAWN BY	RWZ
CHECKED BY	CJ

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WALL SECTIONS

A-505

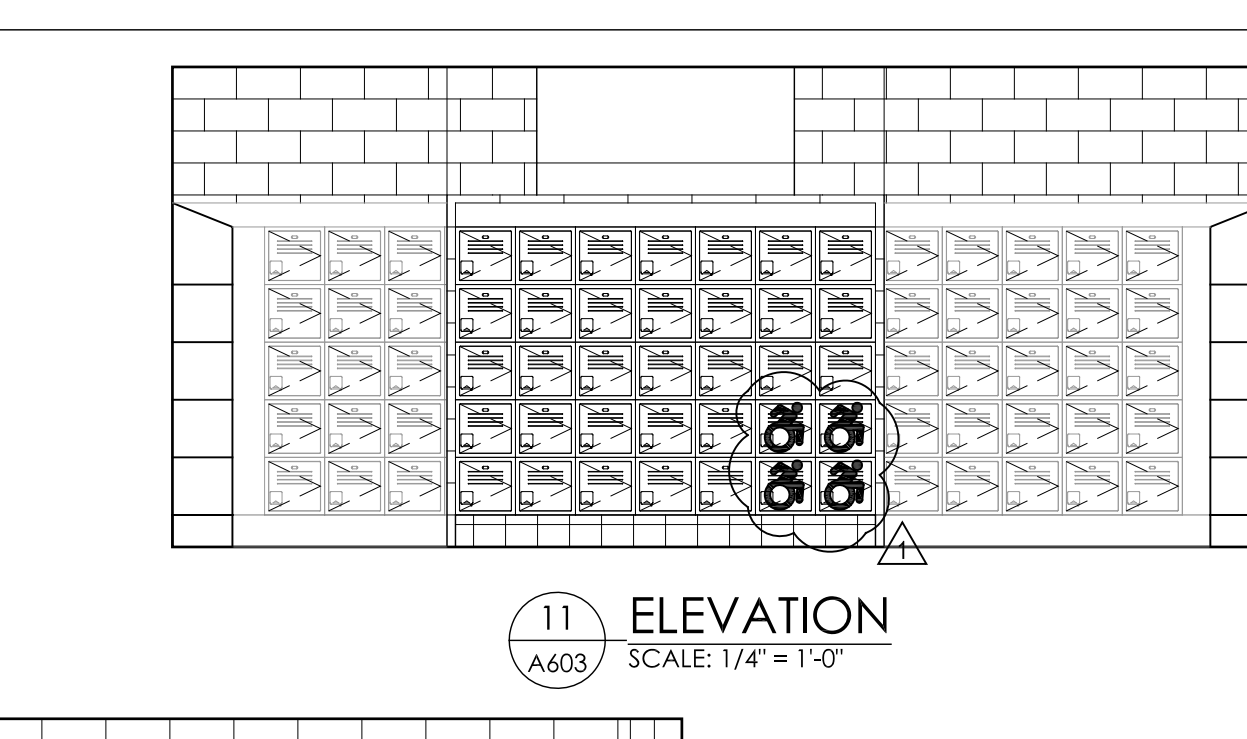
BID SET



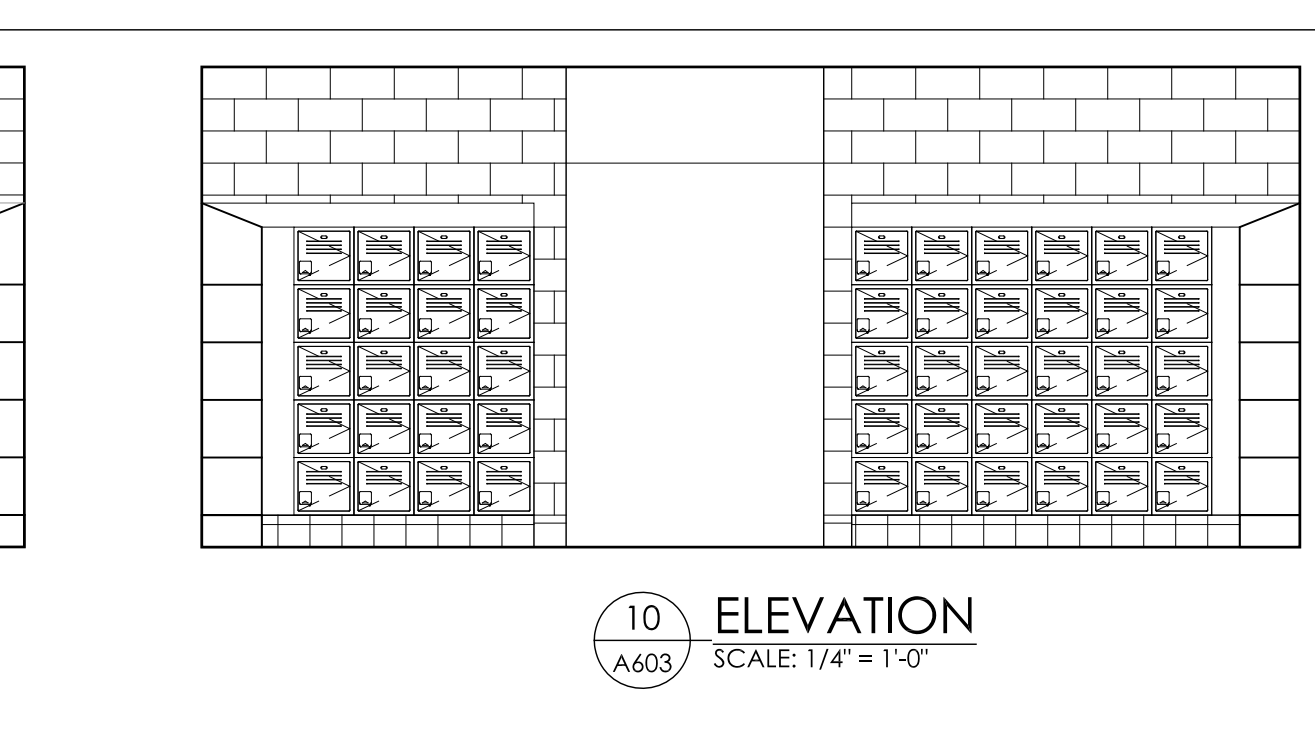
13 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



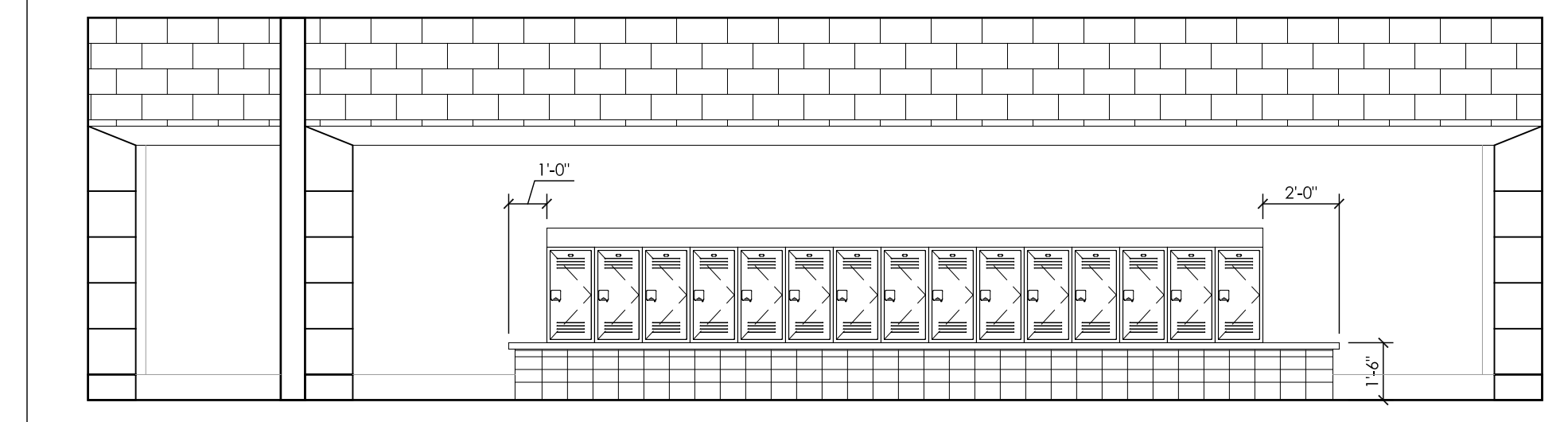
12 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



11 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



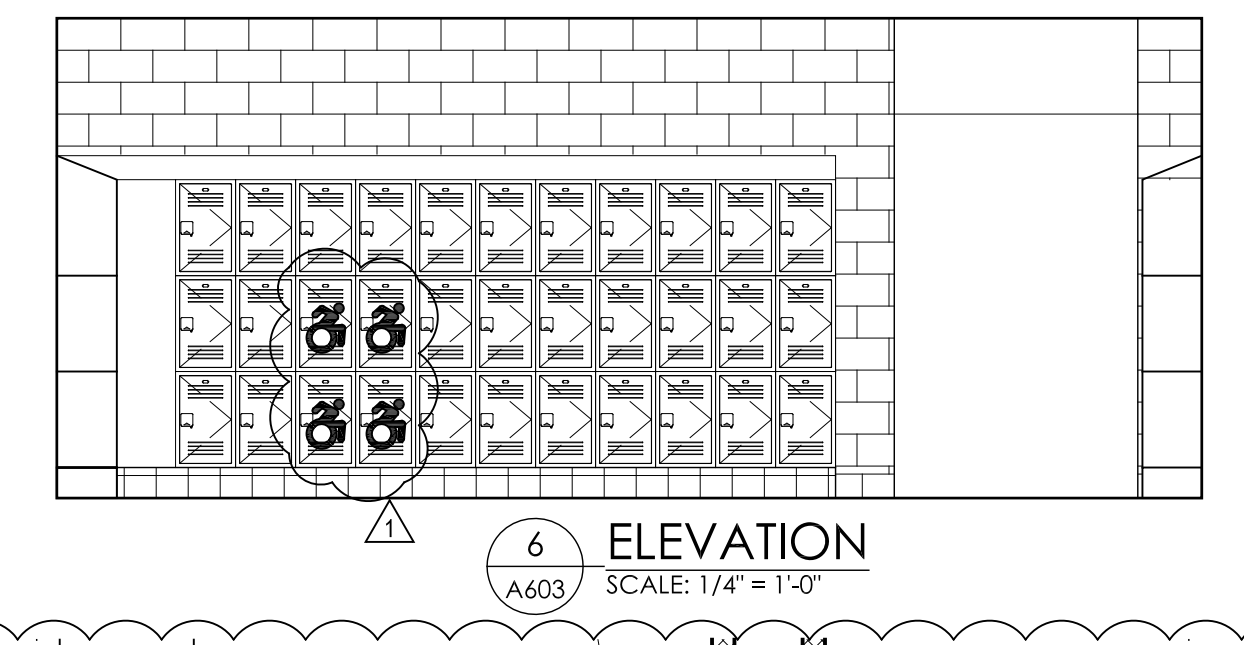
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A603 SCALE: 1/4" = 1'-0"



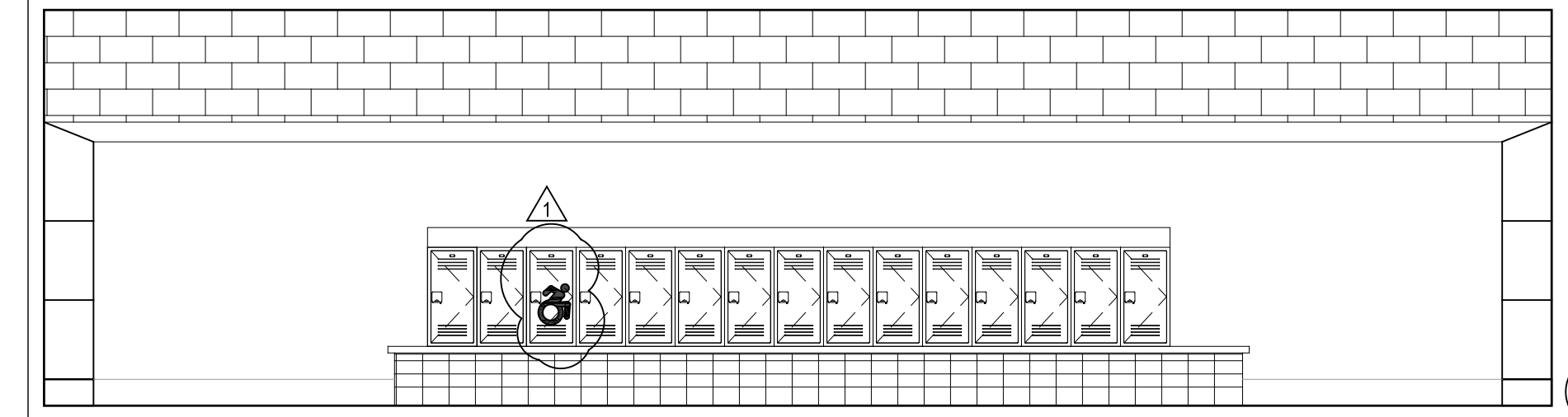
9 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



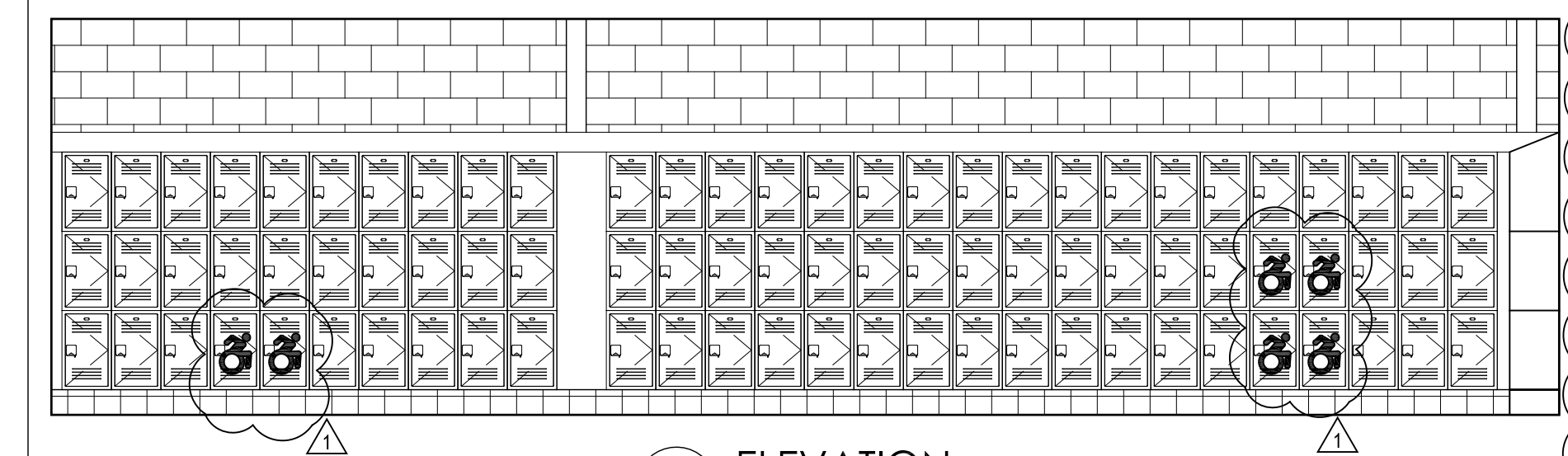
8 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



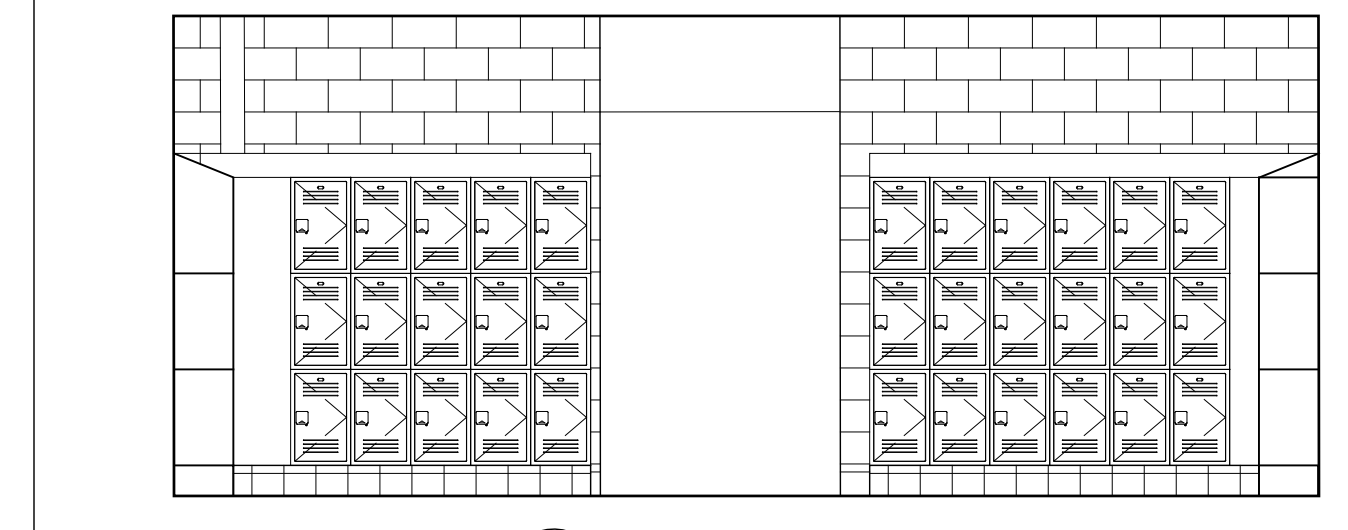
6 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



5 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



4 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



3 ELEVATION  
A603 SCALE: 1/4" = 1'-0"

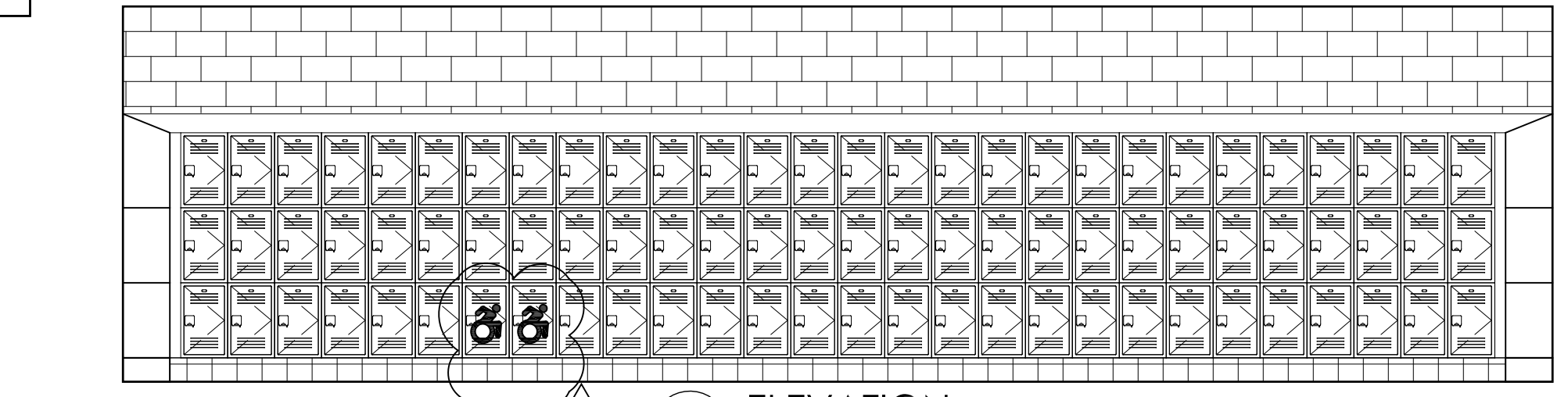
NOTE: 5% OF LOCKERS IN EACH LOCKER ROOM SHALL BE ADA ACCESSIBLE.

⊗ SYMBOL INDICATES ACCESSIBLE LOCKER LOCATIONS

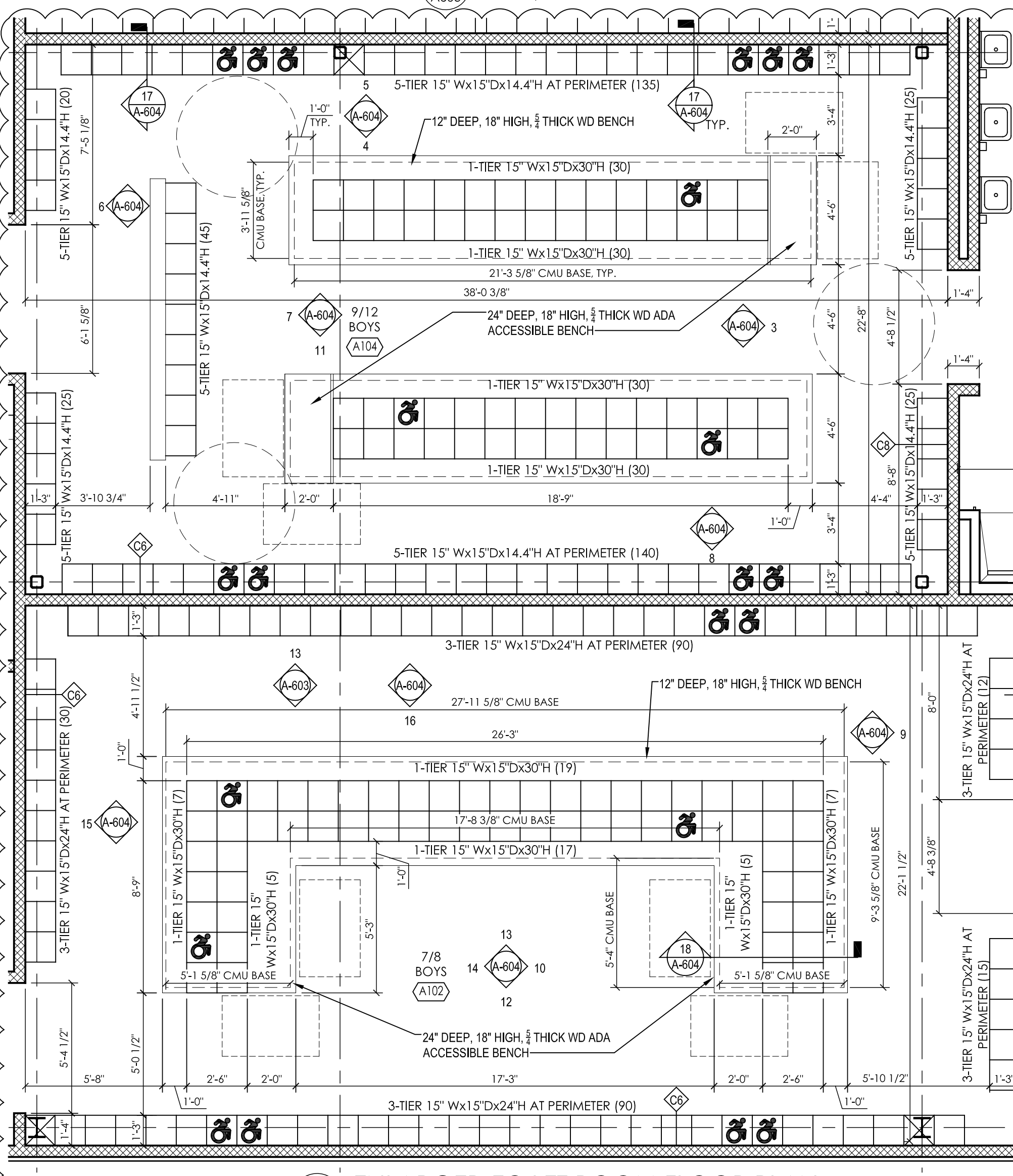
-COAT HOOK & HAT SHELF WITHIN ACCESSIBLE LOCKERS ARE NOT TO BE MOUNTED HIGHER THAN 48" MAX. A.F.F. & NOT HIGHER THAN 46" MAX. A.F.F. @ LOCKERS WITH BENCH SEAT.

-PROVIDE KEYPED ACCESS @ ACCESSIBLE LOCKERS. LATCHES SHALL BE OPERATED WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.

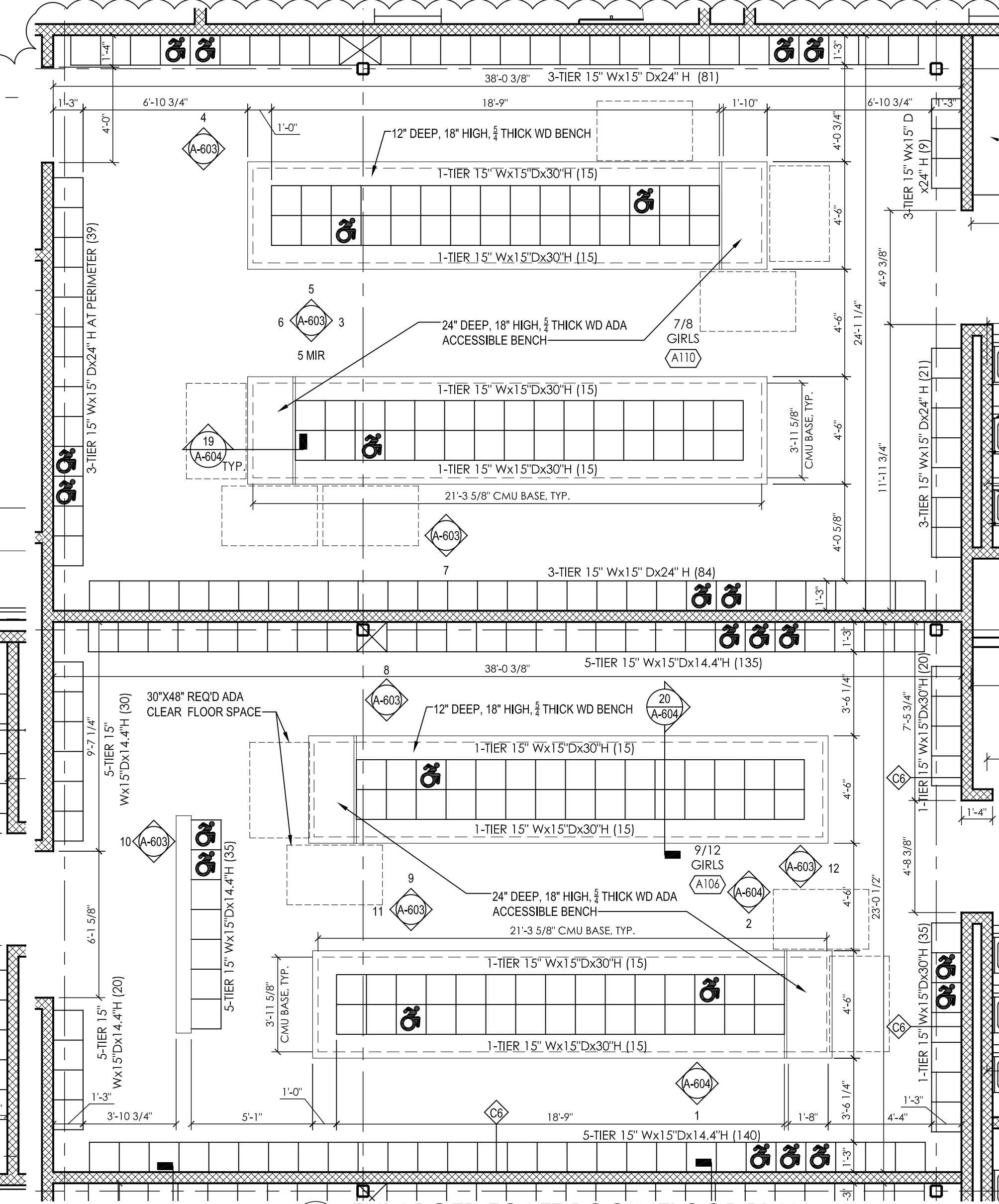
-ACCESSIBLE LATCHES SHALL NOT BE HIGHER THAN 48" MAX A.F.F. & NOT HIGHER THAN 46" MAX. A.F.F. @ LOCKERS WITH BENCH SEAT.



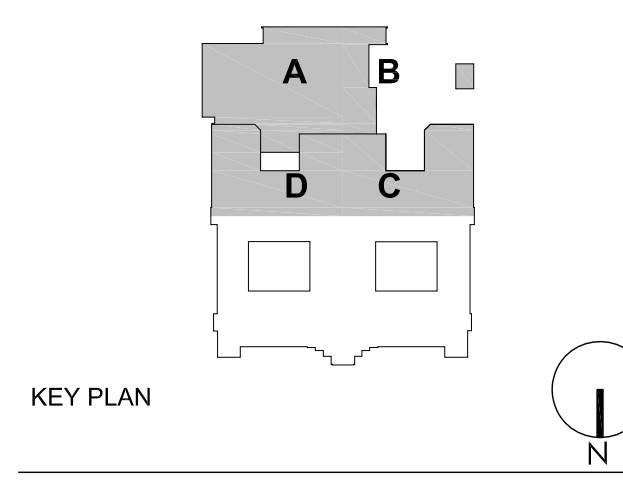
7 ELEVATION  
A603 SCALE: 1/4" = 1'-0"



2 ENLARGED TOILET ROOM FLOOR PLAN  
A603 SCALE: 1/4" = 1'-0"



1 ENLARGED TOILET ROOM FLOOR PLAN  
A603 SCALE: 1/4" = 1'-0"



KEY PLAN

RCS  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

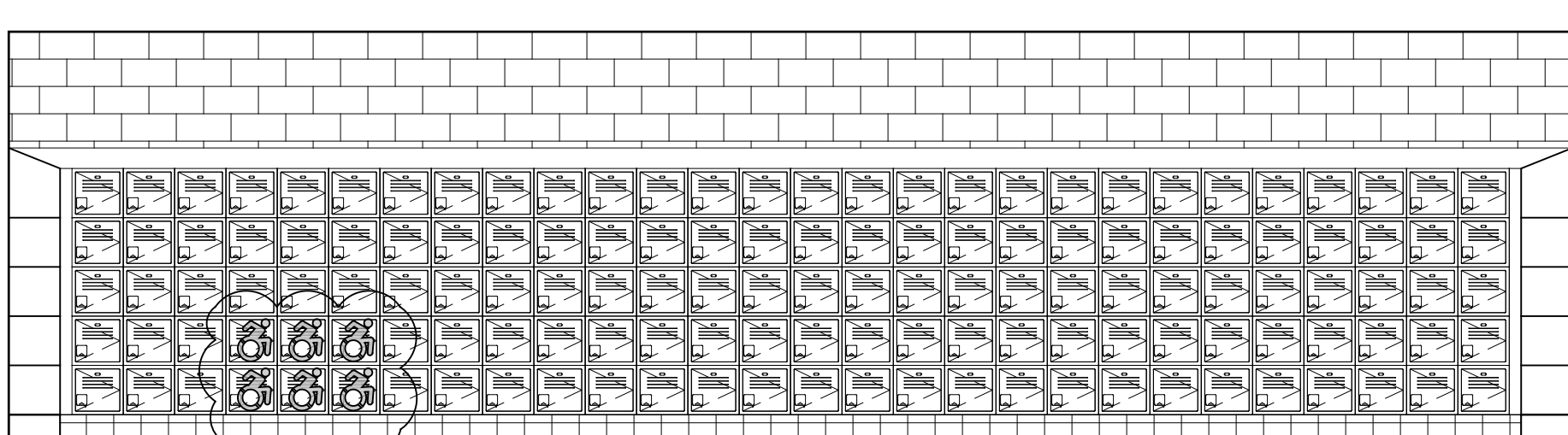
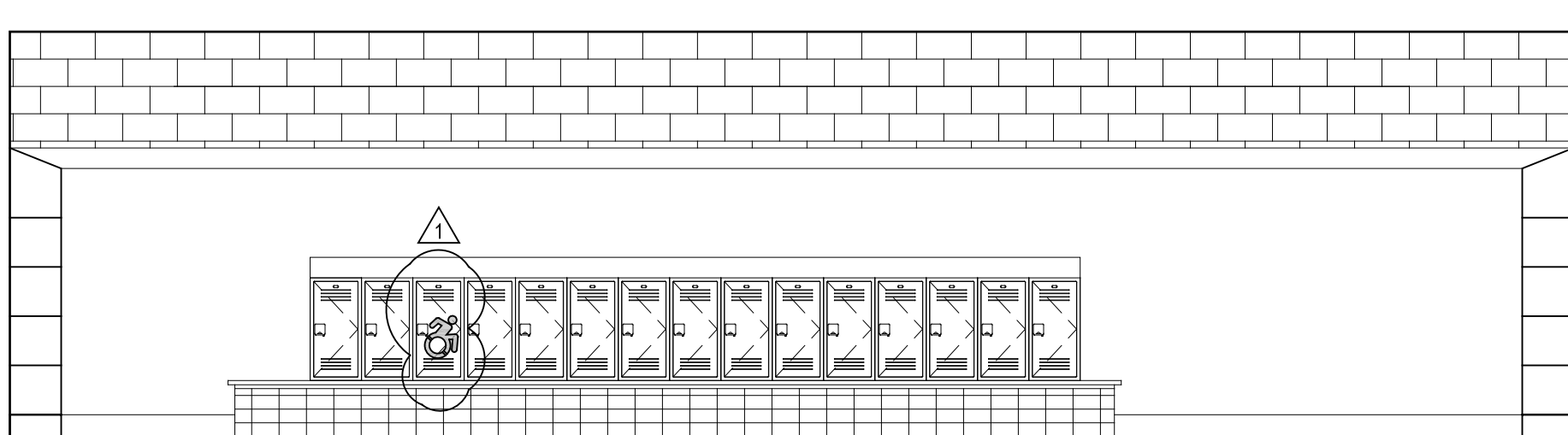
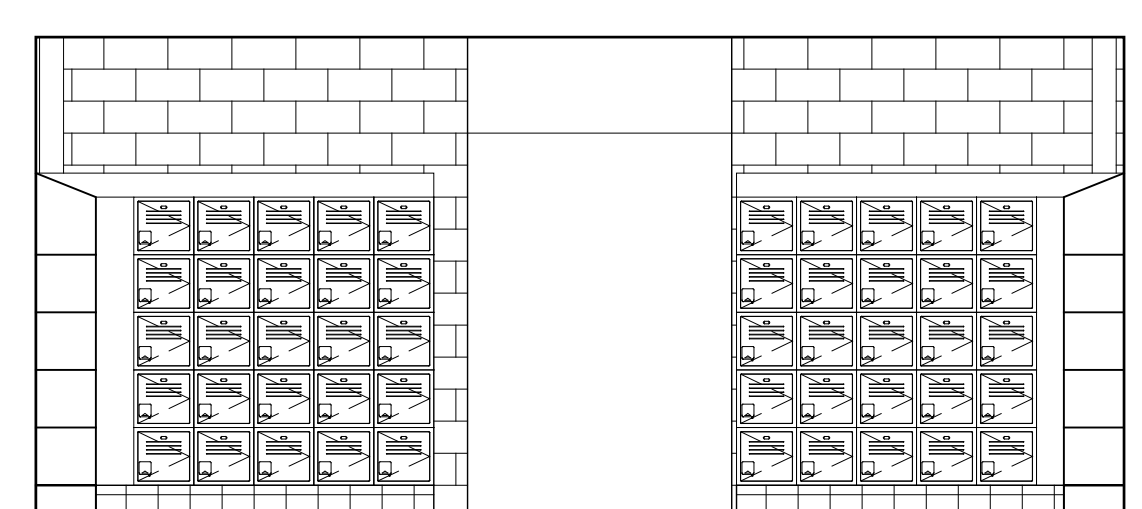
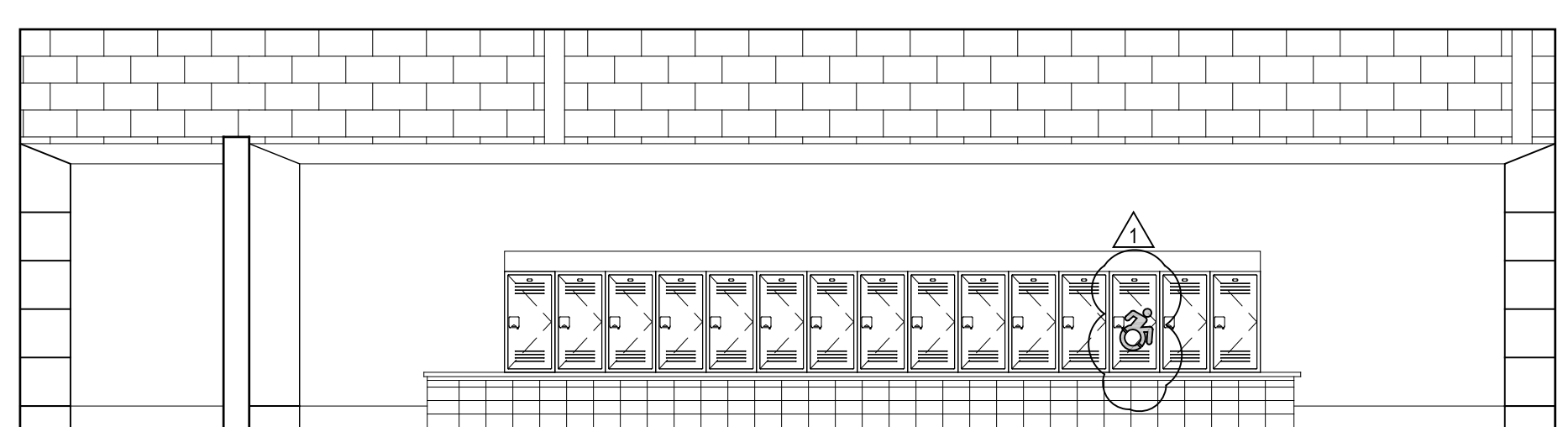
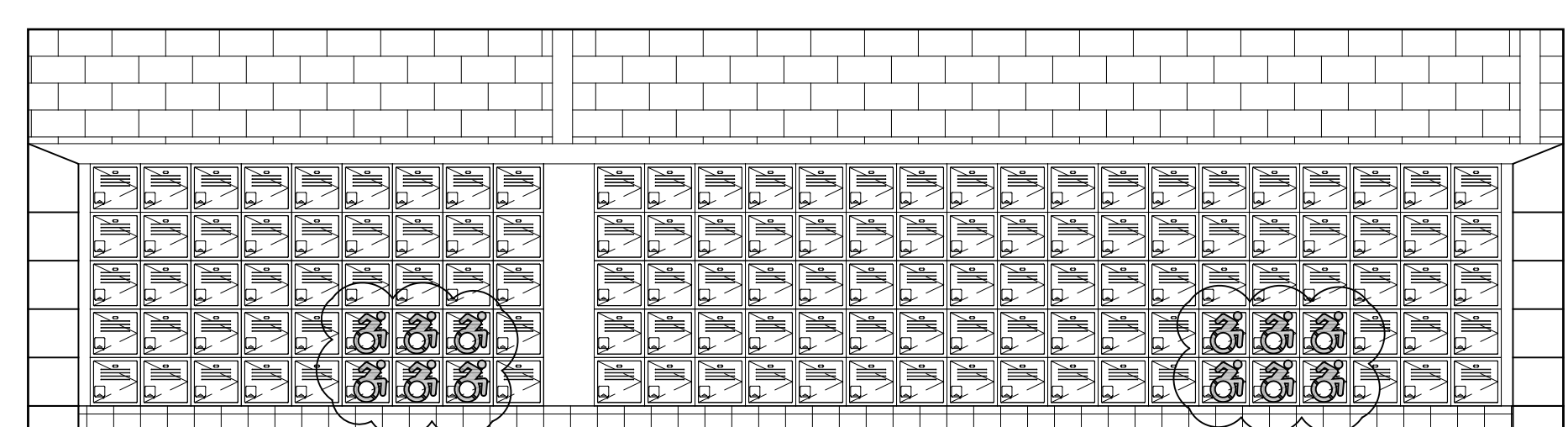
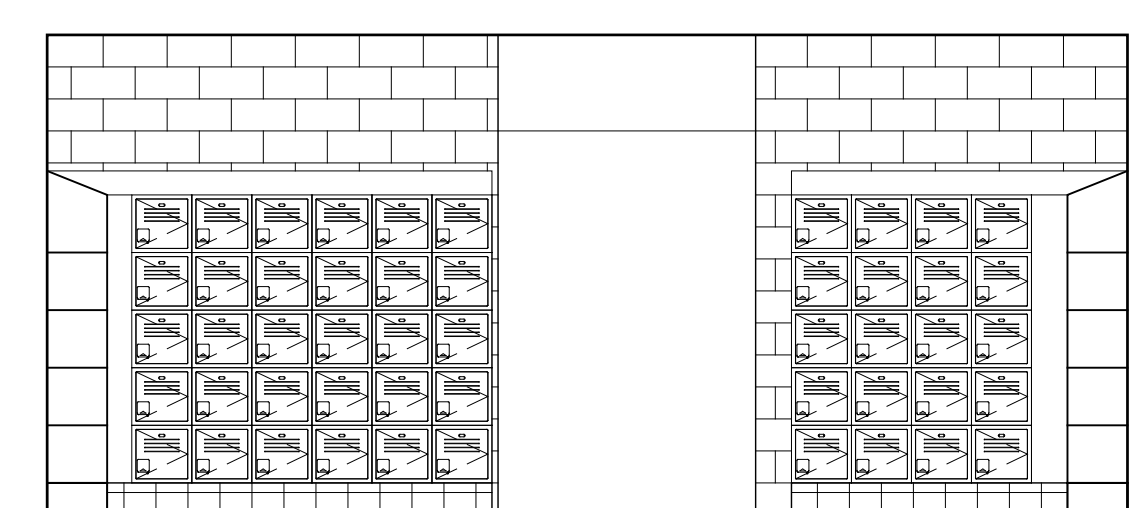
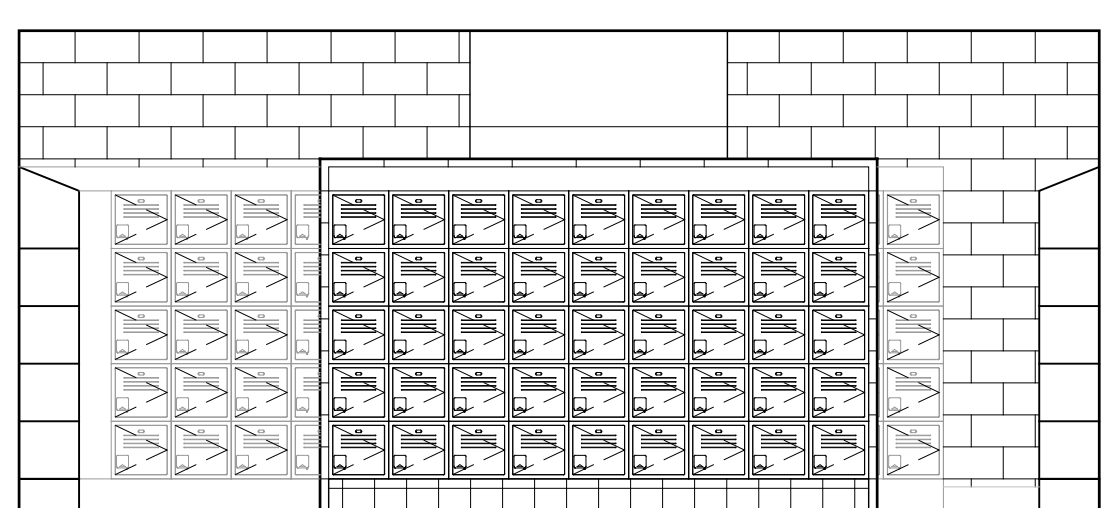
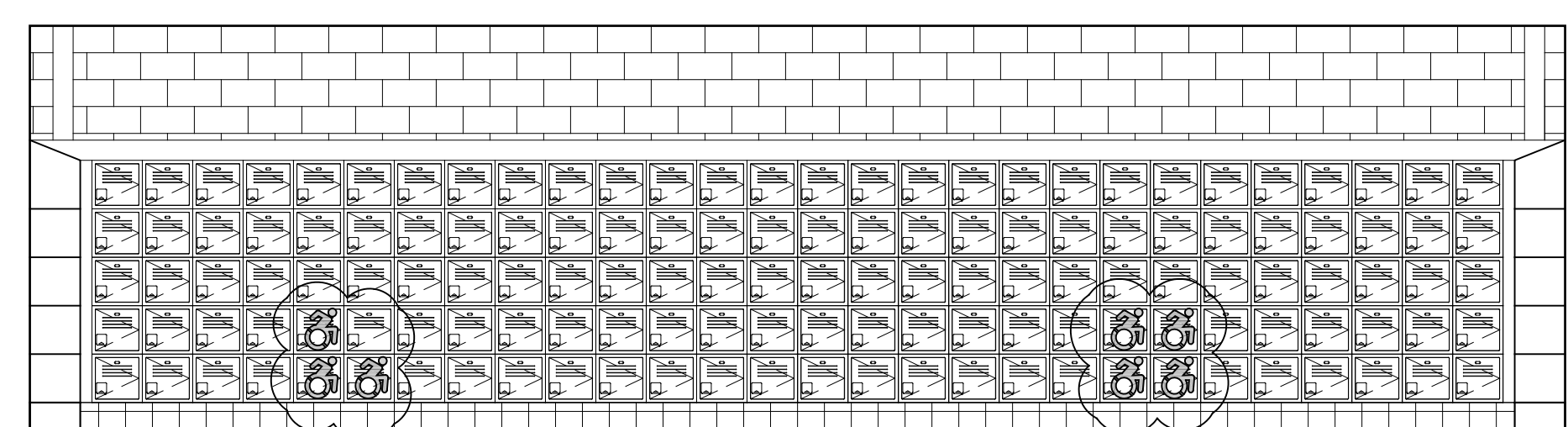
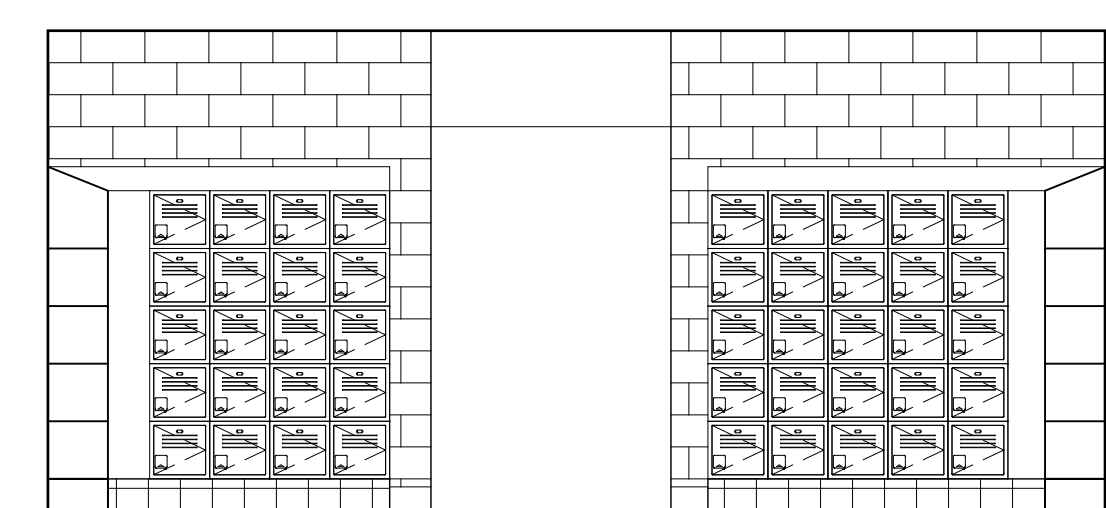
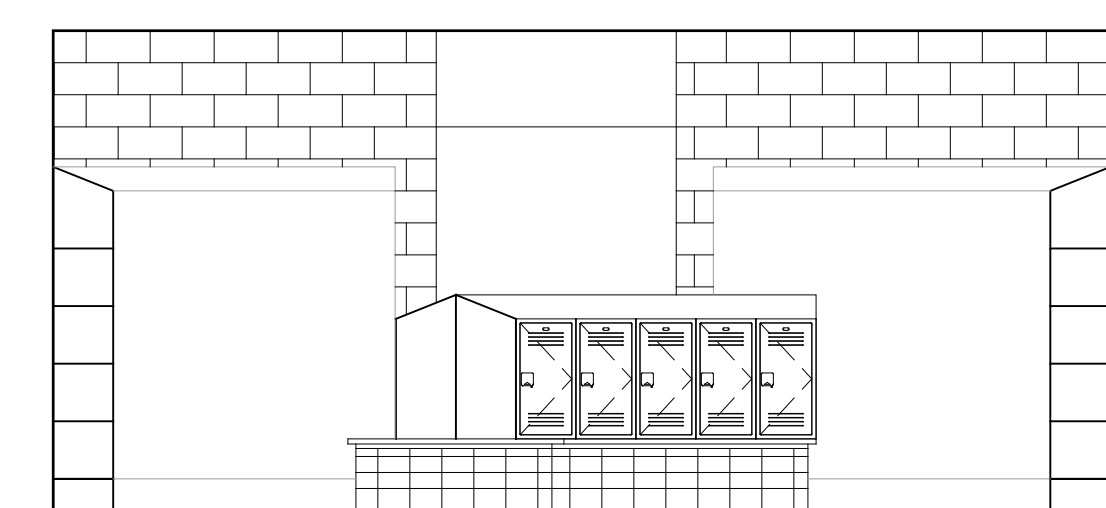
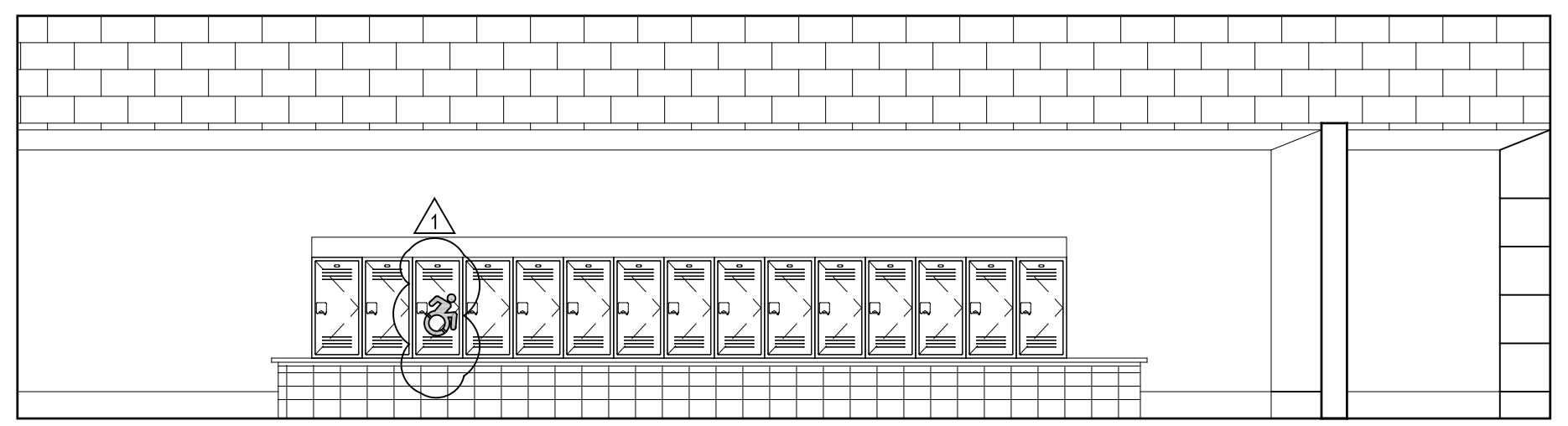
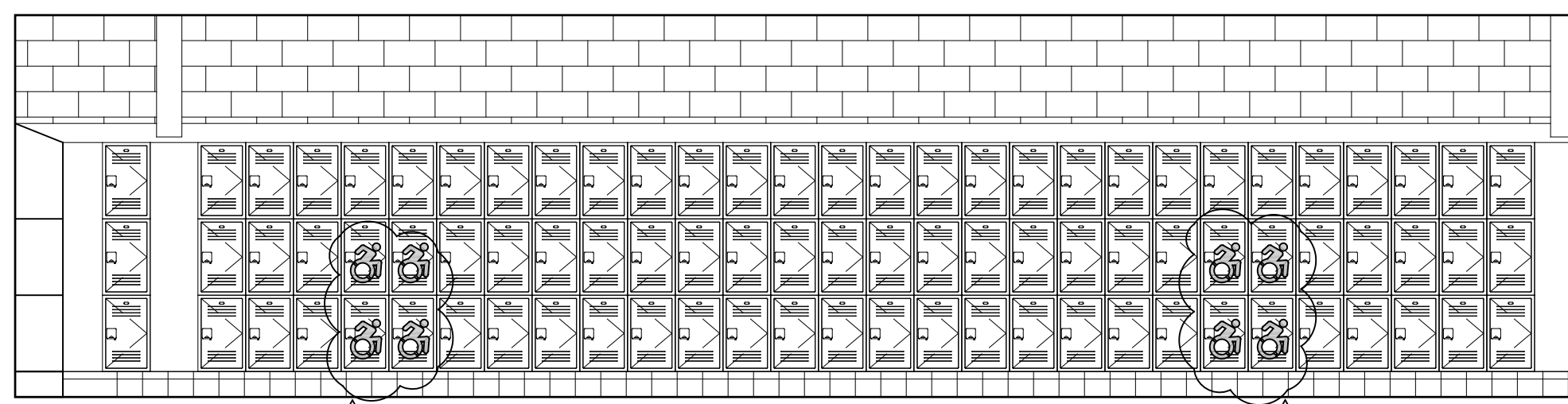
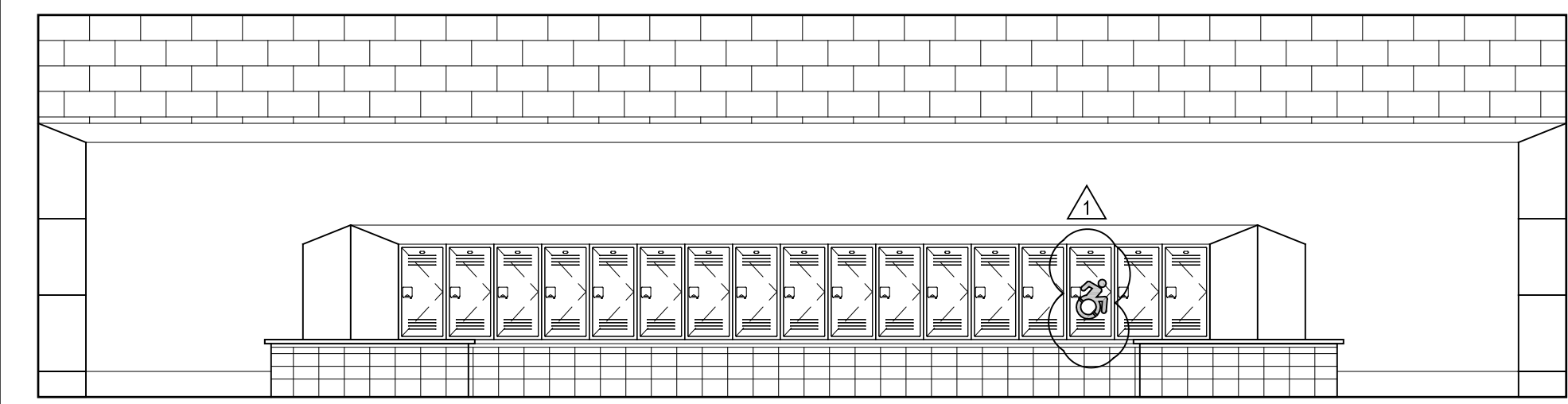
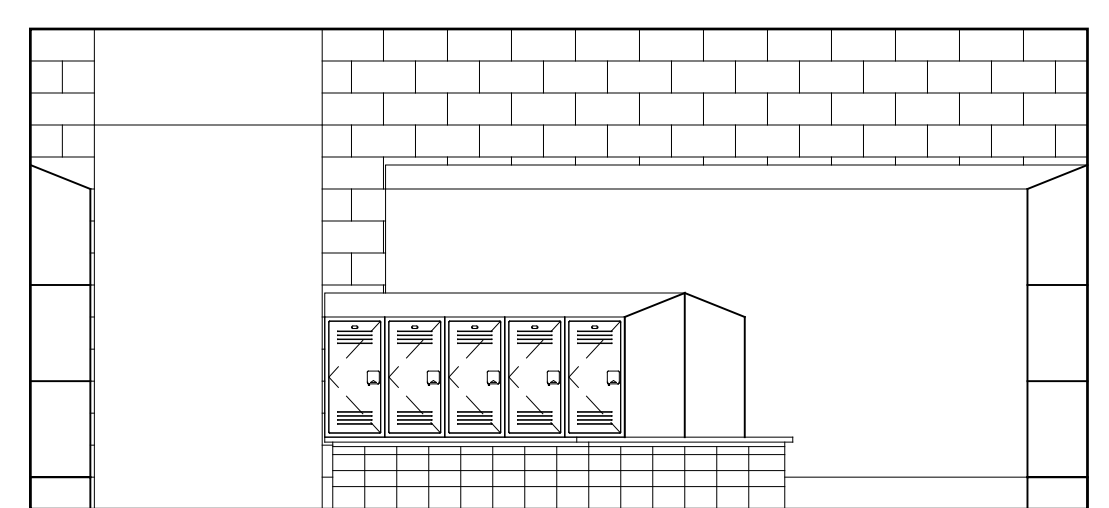
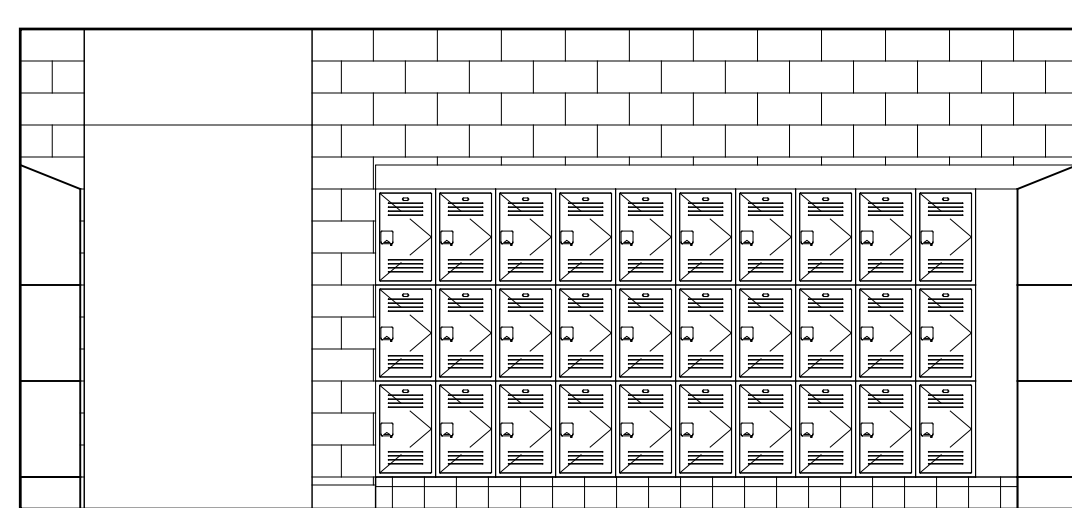
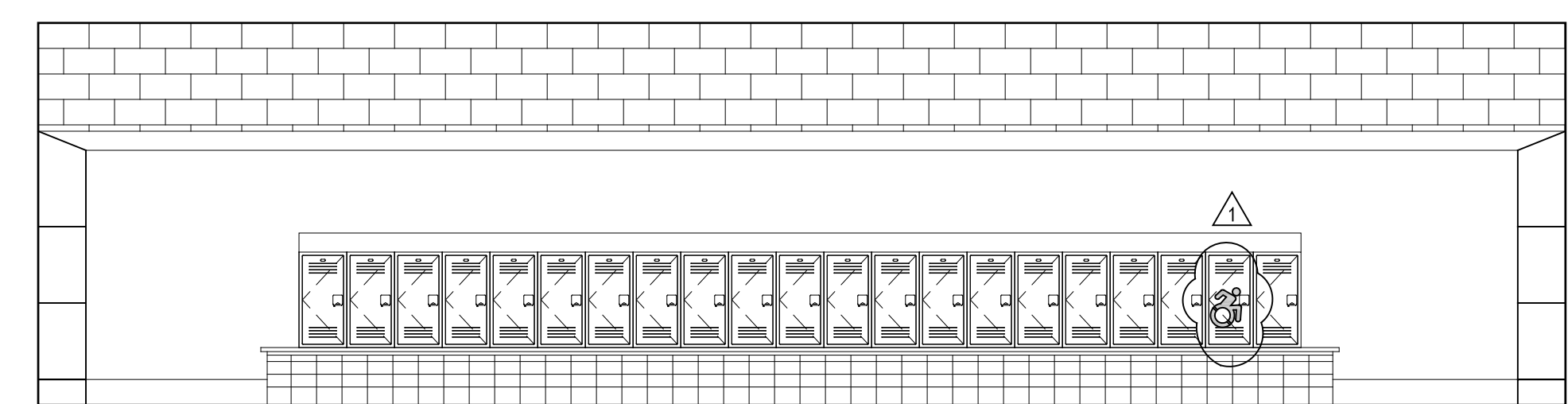
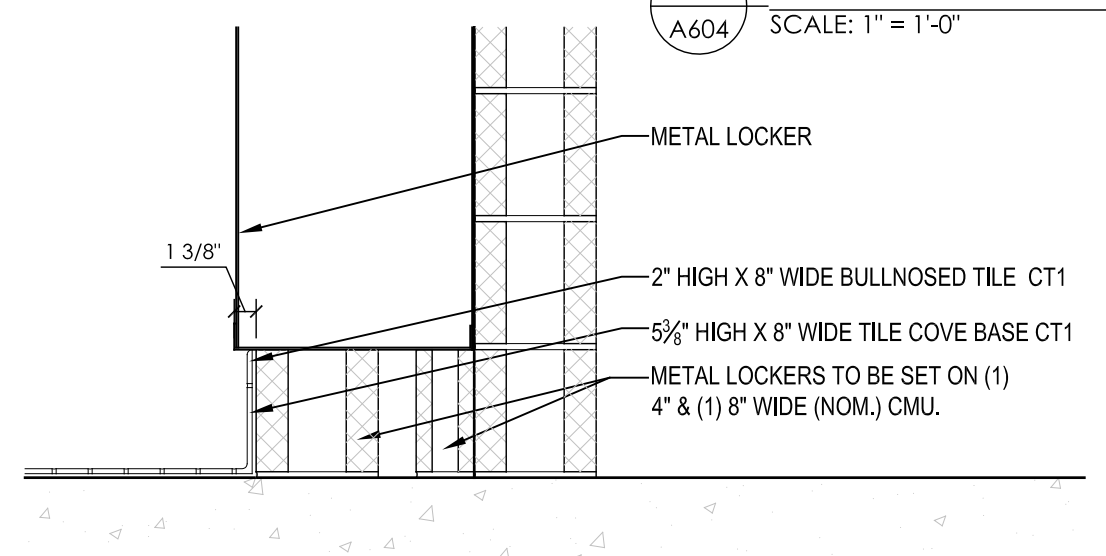
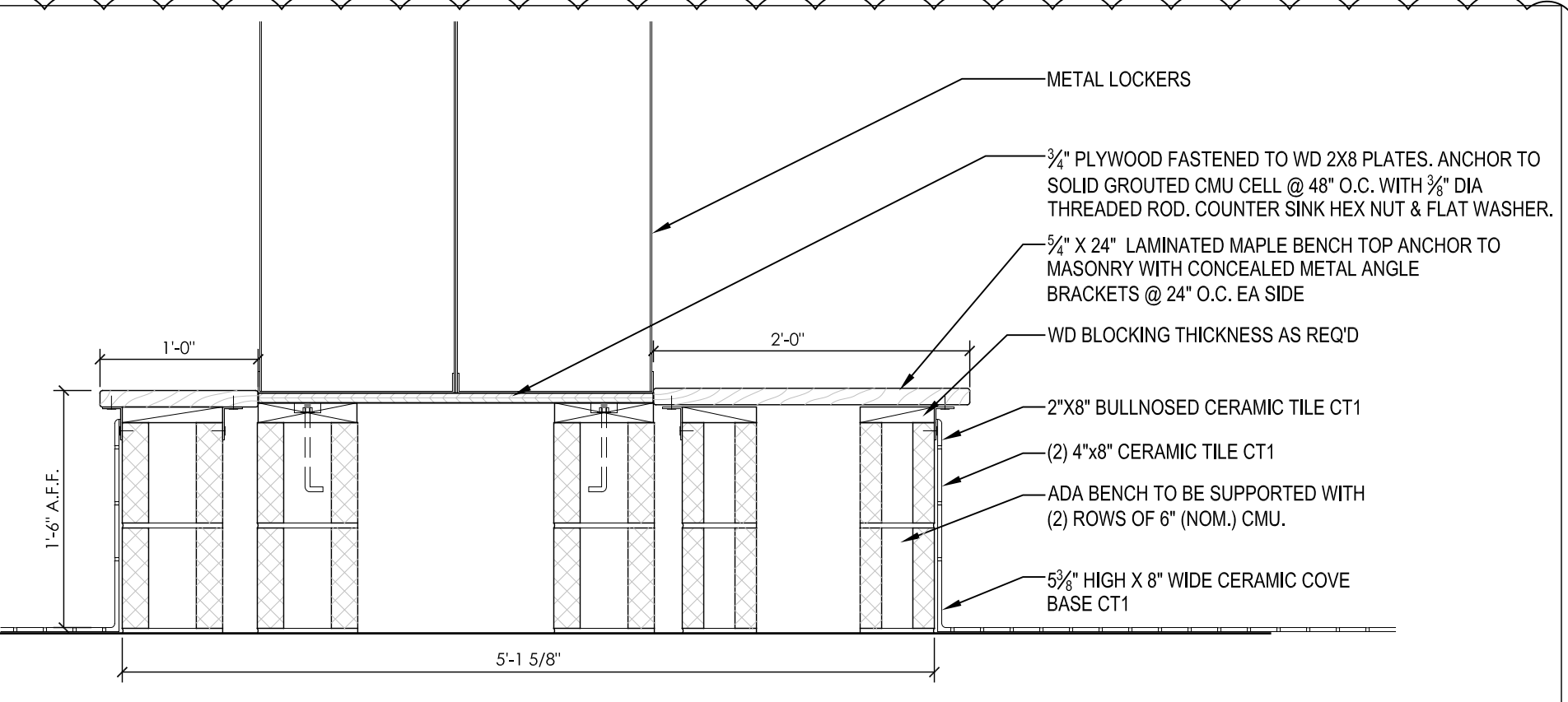
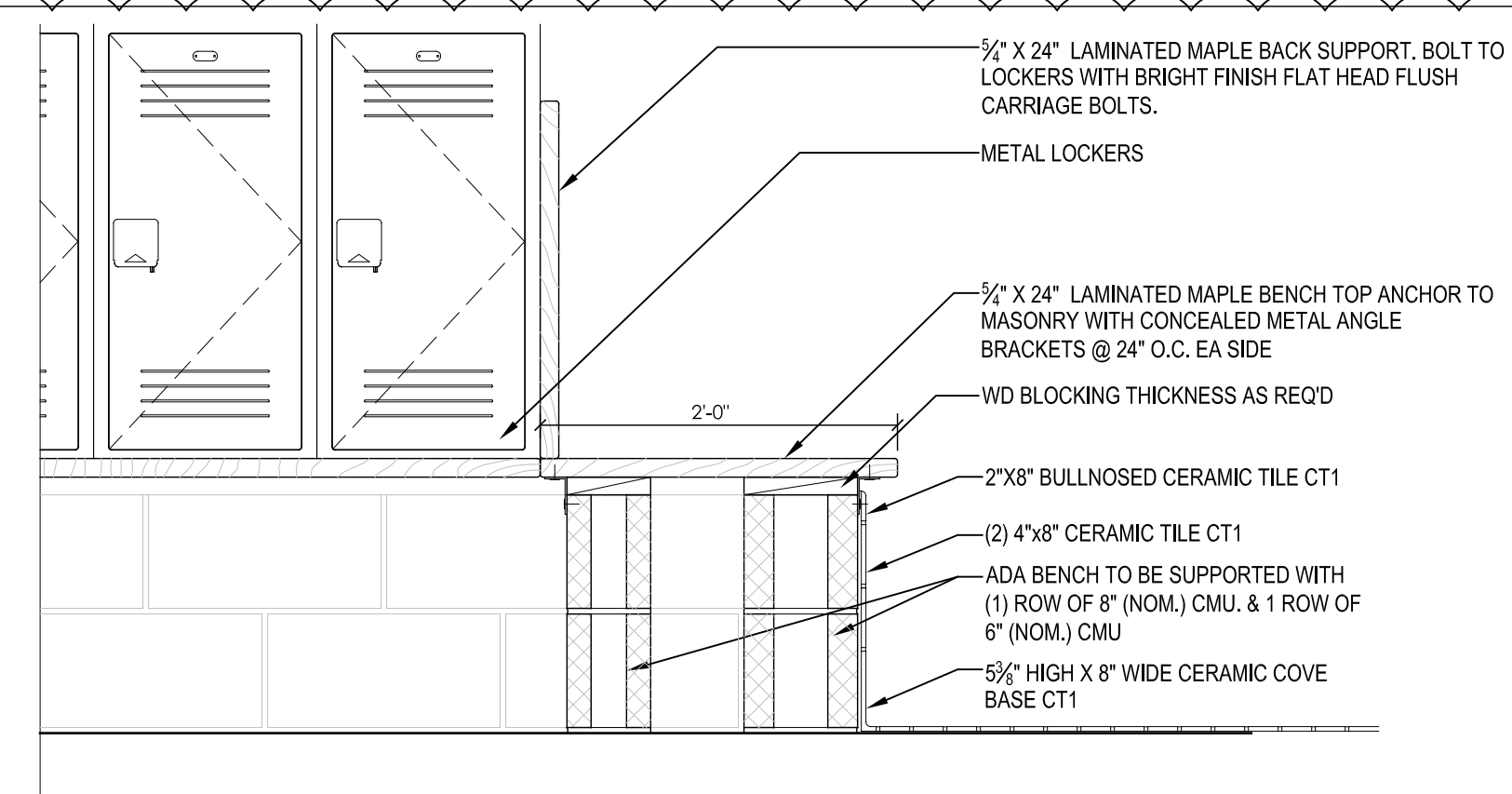
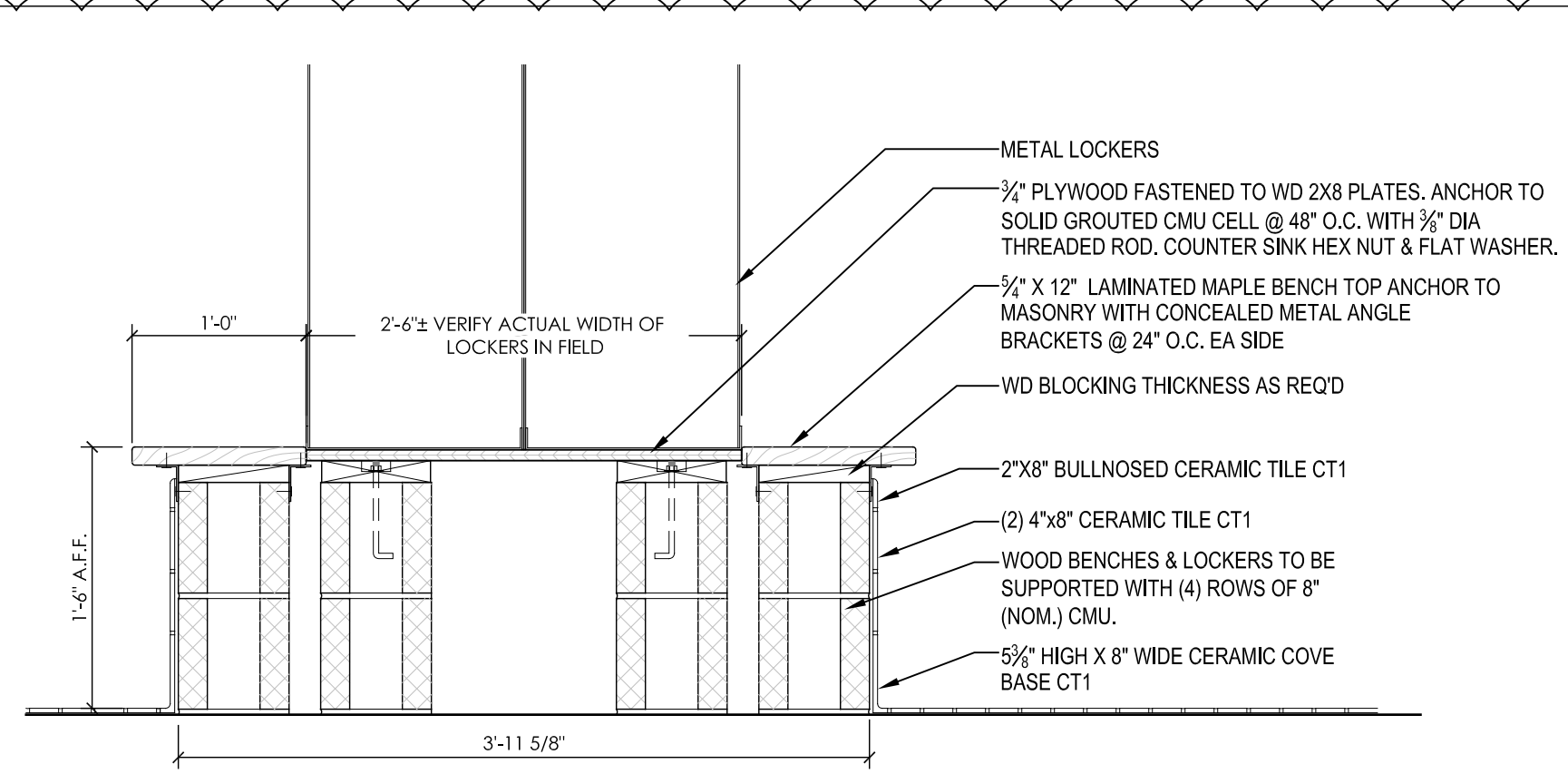
REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/18/17

JOB NO.	1625
SCALE	1/8" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	ETG
CHECKED BY	CJ

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ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS

**A-603**



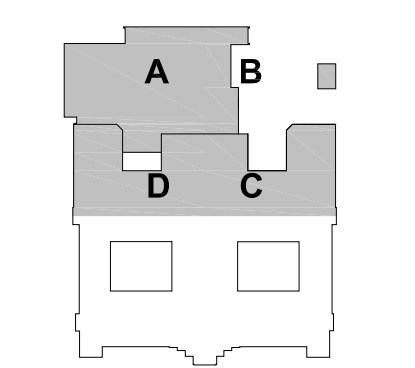
NOTE: 5% OF LOCKERS IN EACH LOCKER ROOM SHALL BE ADA ACCESSIBLE.

Ⓕ SYMBOL INDICATES ACCESSIBLE LOCKER LOCATIONS

-COAT HOOK & HAT SHELF WITHIN ACCESSIBLE LOCKERS ARE NOT TO BE MOUNTED HIGHER THAN 48" MAX. A.F.F. & NOT HIGHER THAN 46" MAX. A.F.F. @ LOCKERS WITH BENCH SEAT.

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RCS  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/18/17

JOB NO.	1625
SCALE	1/8" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	RWZ, MY
CHECKED BY	CJ

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INTERIOR  
ELEVATIONS

**A-604**

BID SET

**ABBREVIATIONS KEY:**

**FLOOR- MATERIAL/FINISH**

ETR	EXISTING TO REMAIN
EXIST	EXISTING
N/A	NOT APPLICABLE
EC	EXISTING CONCRETE, CLEAN AND SEAL
C	CONCRETE
CPT	CARPET
CT - #	TILE (# - REF. SPECIFICATIONS)
PFT	PORCELAIN FLOOR TILE
VCT	RESILIENT FLOOR TILE
PT	PAINT
S	SEAL
LVT	LUXURY VINYL TILE
TER	TERRAZZO
RSF	RUBBER SPORTS FLOOR
RST	RESILIENT STAIR TREAD
QT	QUARRY TILE
SV	SHEET VINYL

**BASE- MATERIAL/FINISH**

ETR	EXISTING TO REMAIN
N/A	NOT APPLICABLE
CT - #	TILE (# - REF. SPECIFICATIONS)
GB	GLAZED BRICK
RB	RESILIENT BASE
WD	WOOD BASE
PT	PAINT

**WALLS- MATERIAL/FINISH**

ETR	EXISTING TO REMAIN
N/A	NOT APPLICABLE
EW	EXISTING WALL
C	CONCRETE
CT - #	TILE (# - REF. SPECIFICATIONS)
CB	CEMENT BOARD
GTB	GYPSUM WALL BOARD
PT	PAINT
BR - #	BRICK (# - REF. SPECIFICATIONS)
GB - #	GLAZED BRICK (# - REF. SPECIFICATIONS)
GFR	GLASS FIBER REINFORCED CONCRETE

**CEILING- MATERIAL/FINISH**

ETR	EXISTING TO REMAIN
N/A	NOT APPLICABLE
EIFS	EXTERIOR INSULATION FINISH SYSTEM (INTERIOR FINISH)
EXP	EXPOSED STRUCTURE
ACT - #	ACOUSTIC CEILING TILE (# - REF. SPECIFICATIONS)
GTB	GYPSUM WALL BOARD
PT	PAINT
TEC	TECHTUM

**REMARKS KEY:**

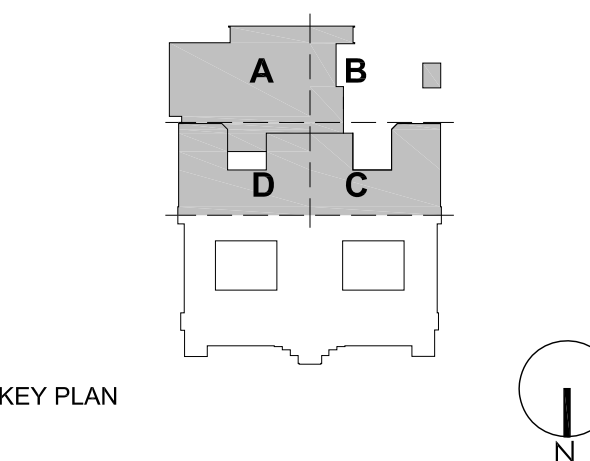
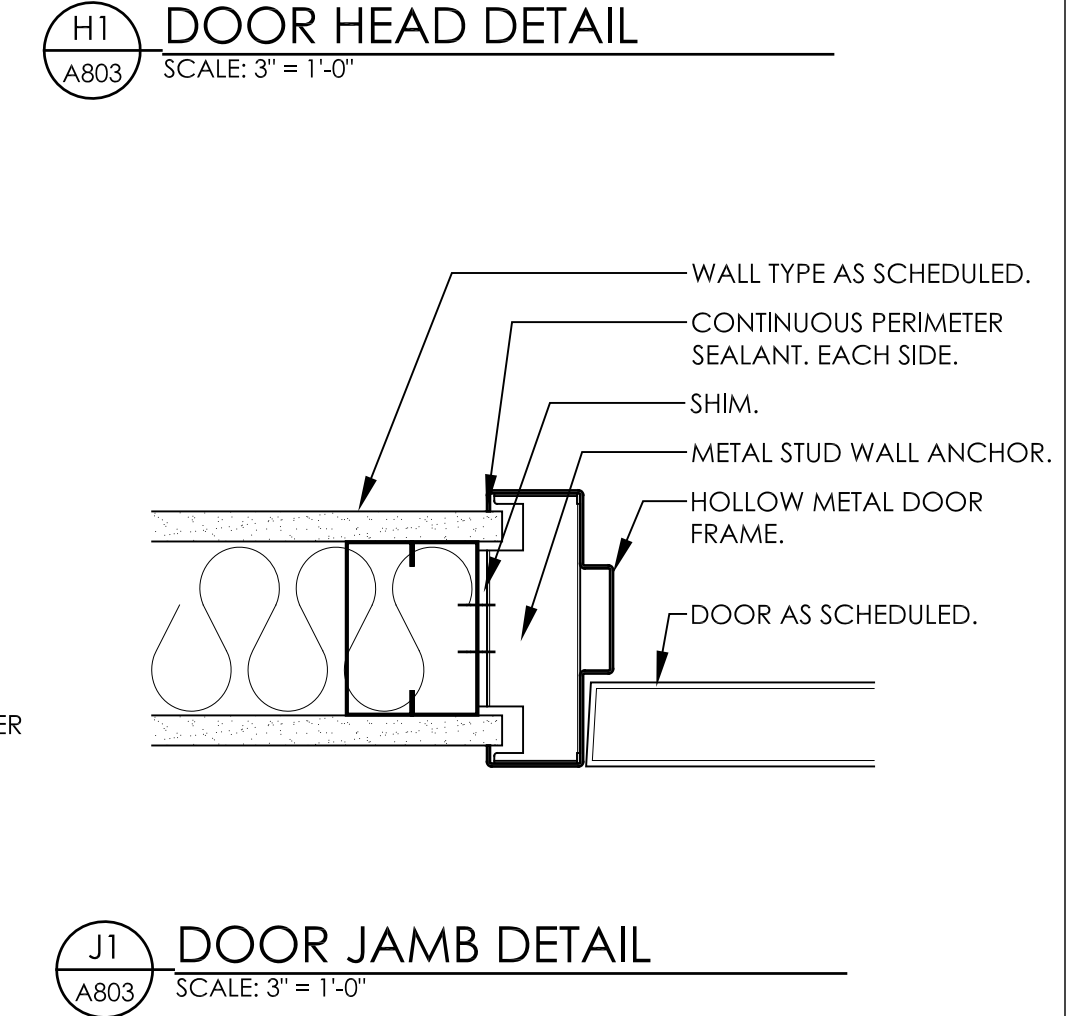
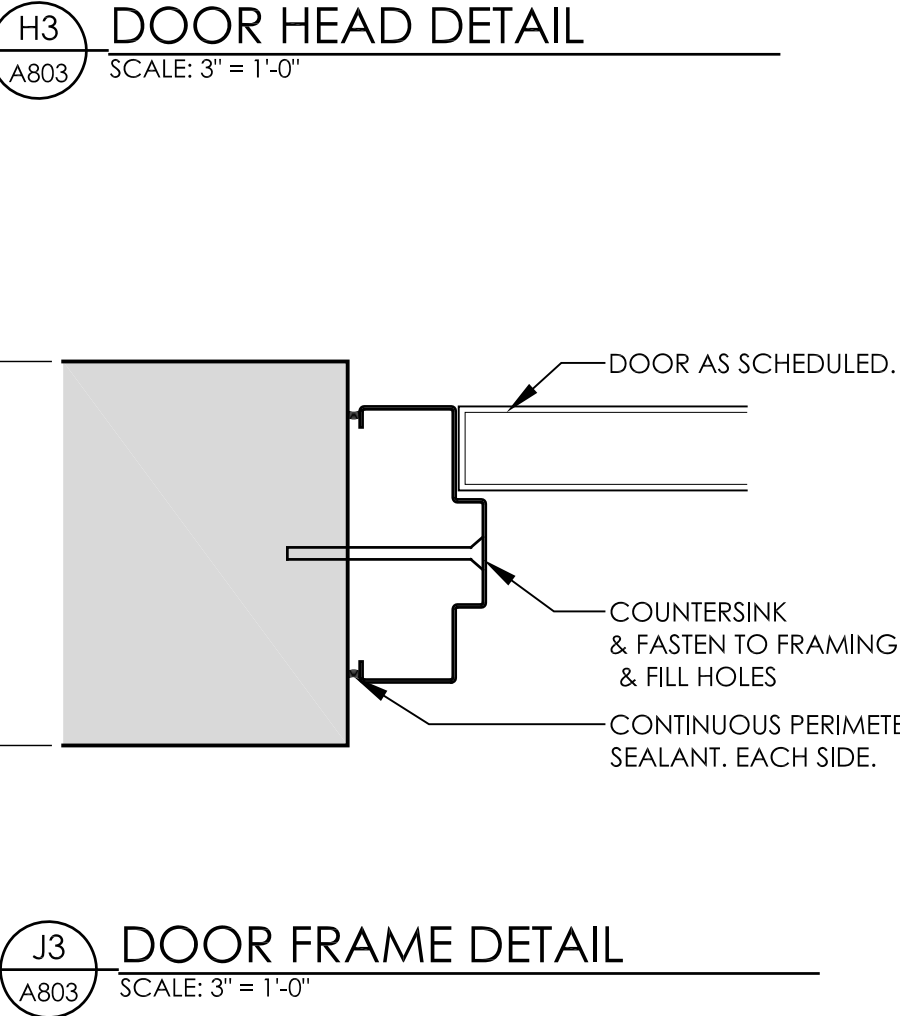
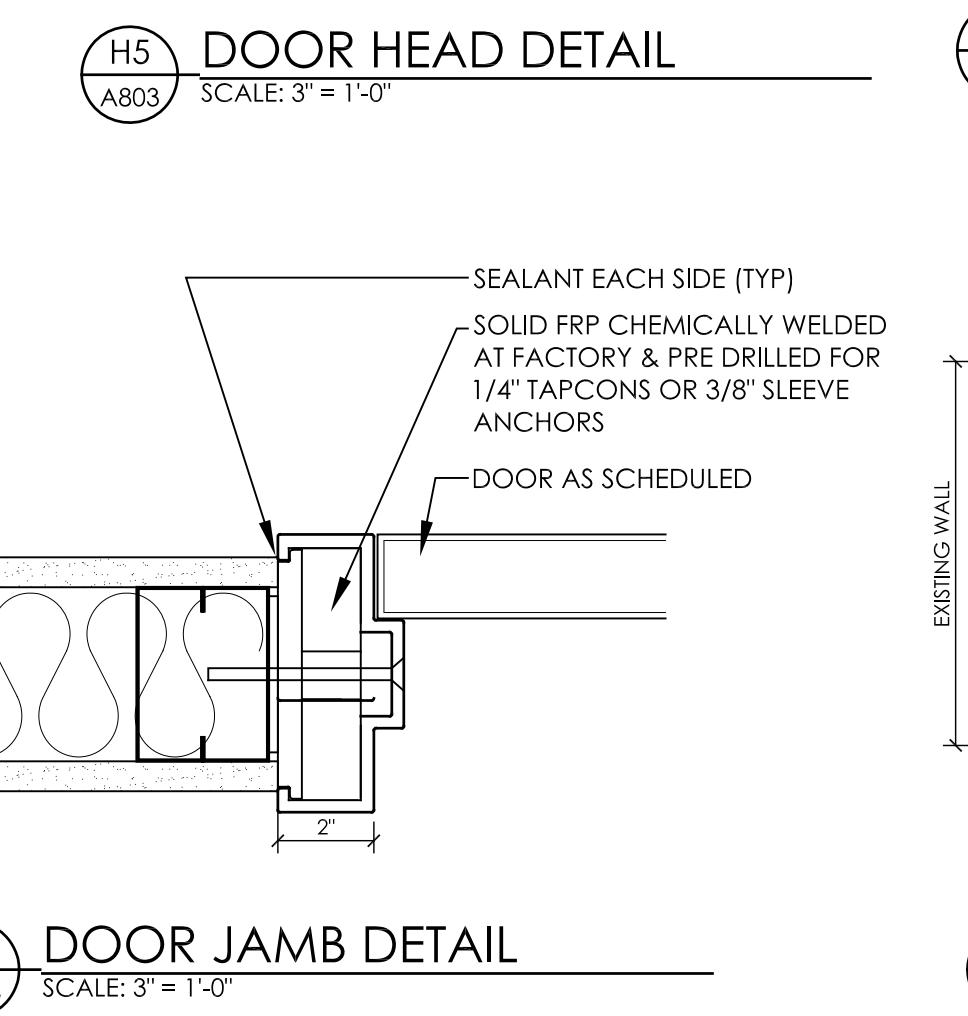
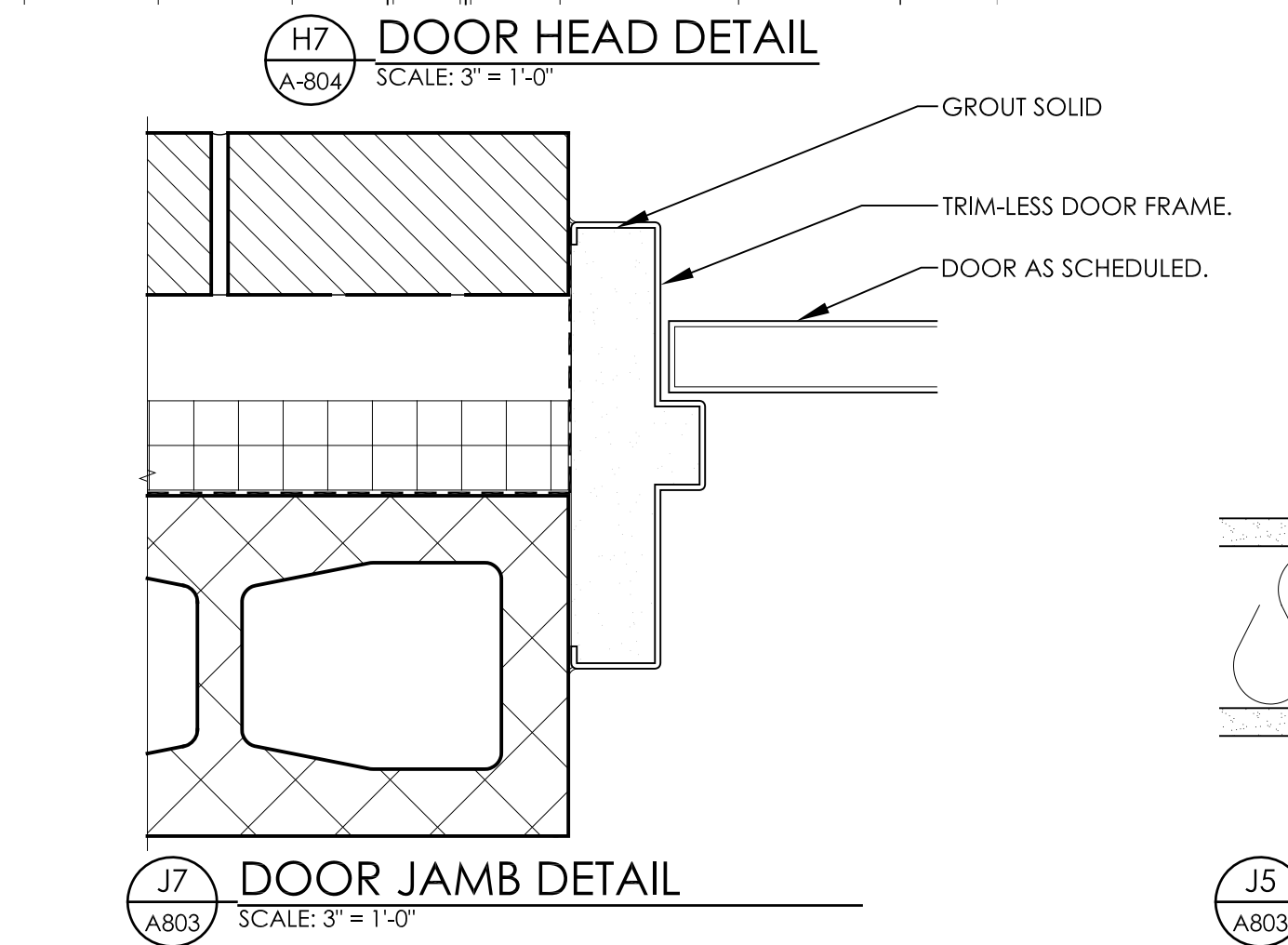
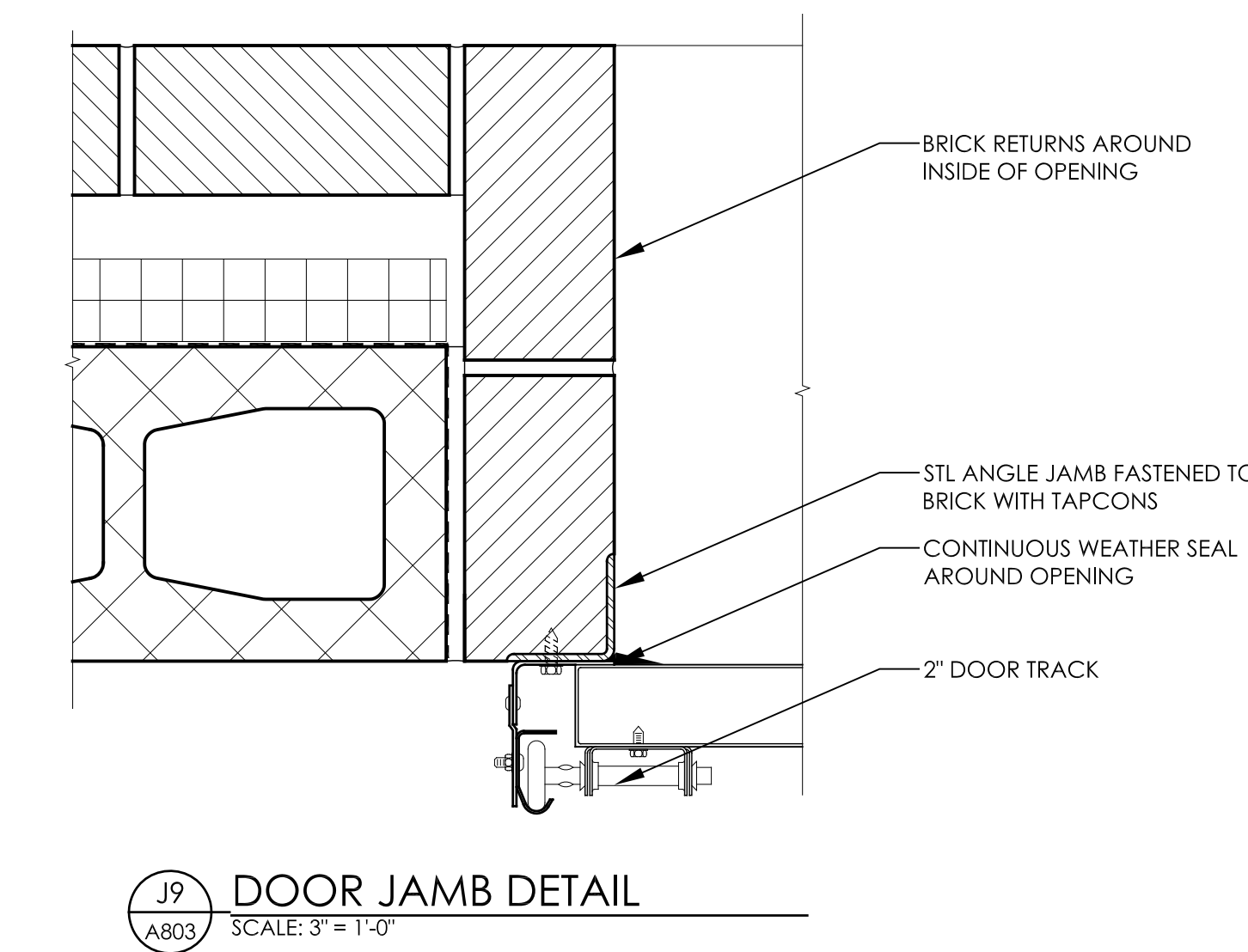
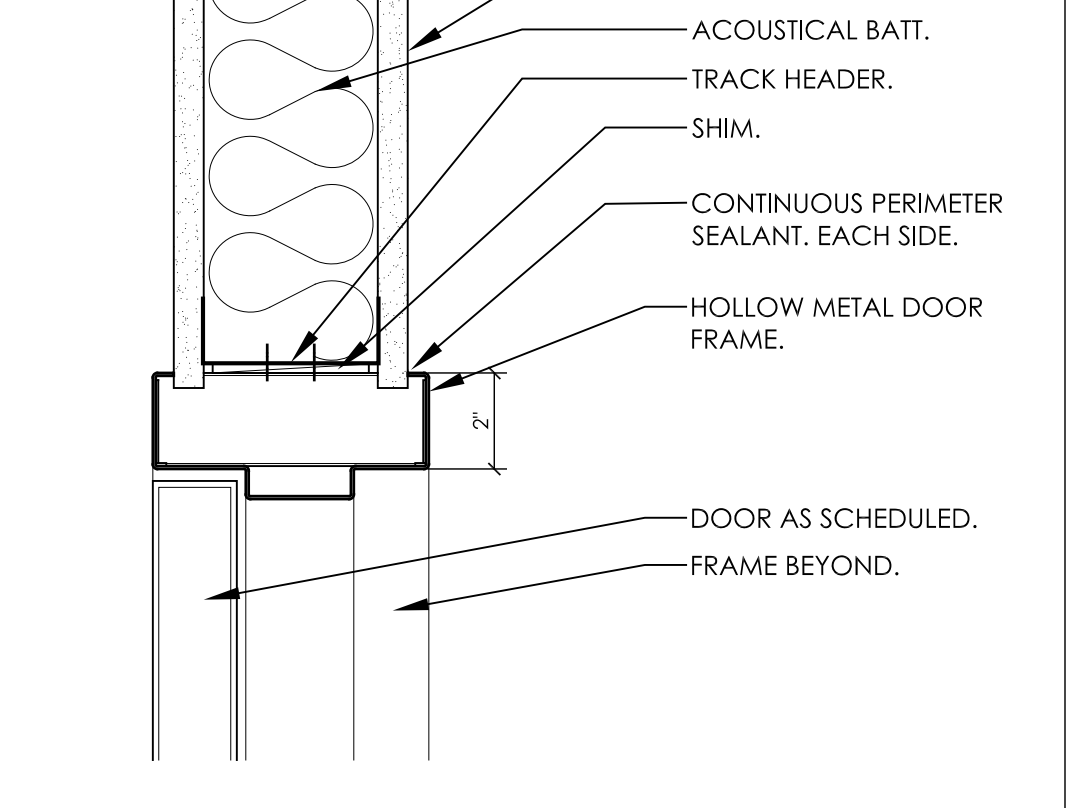
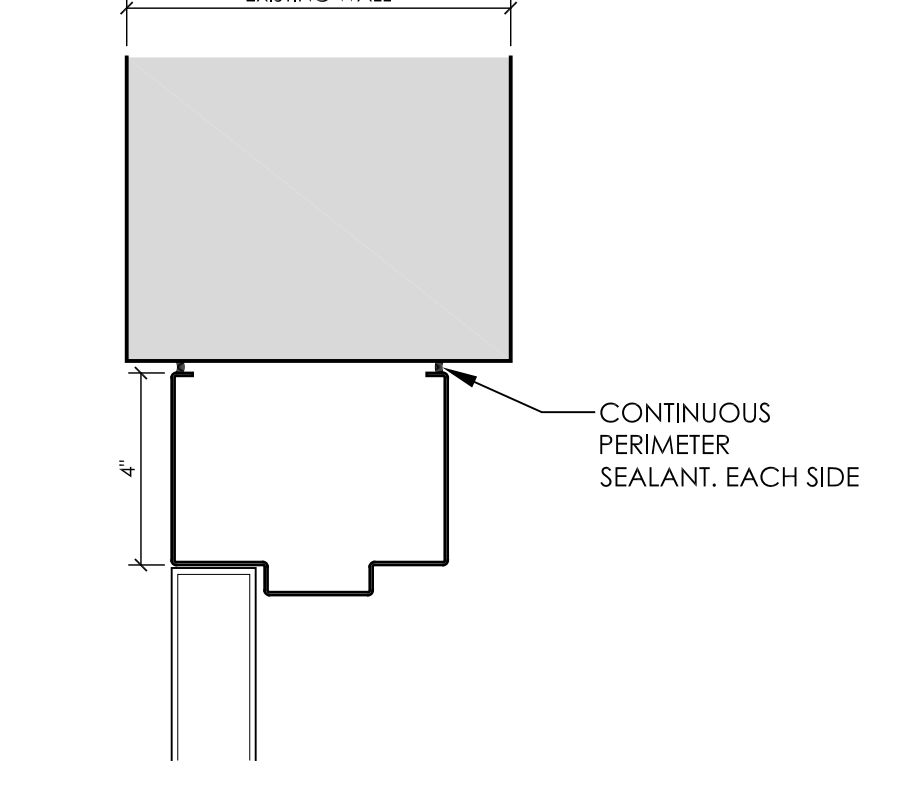
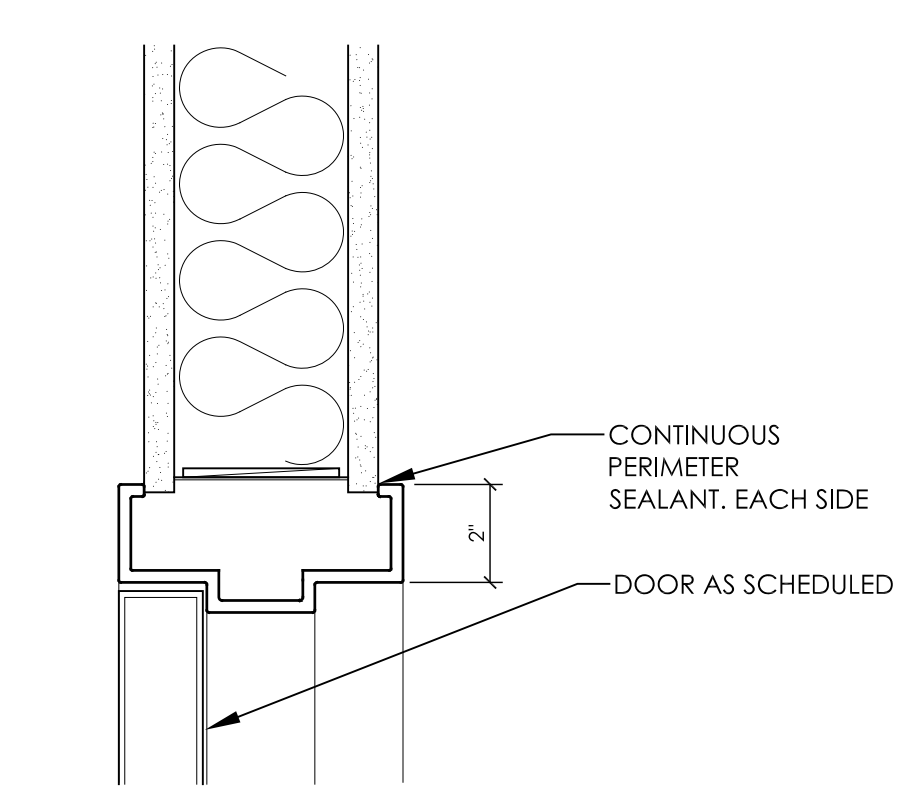
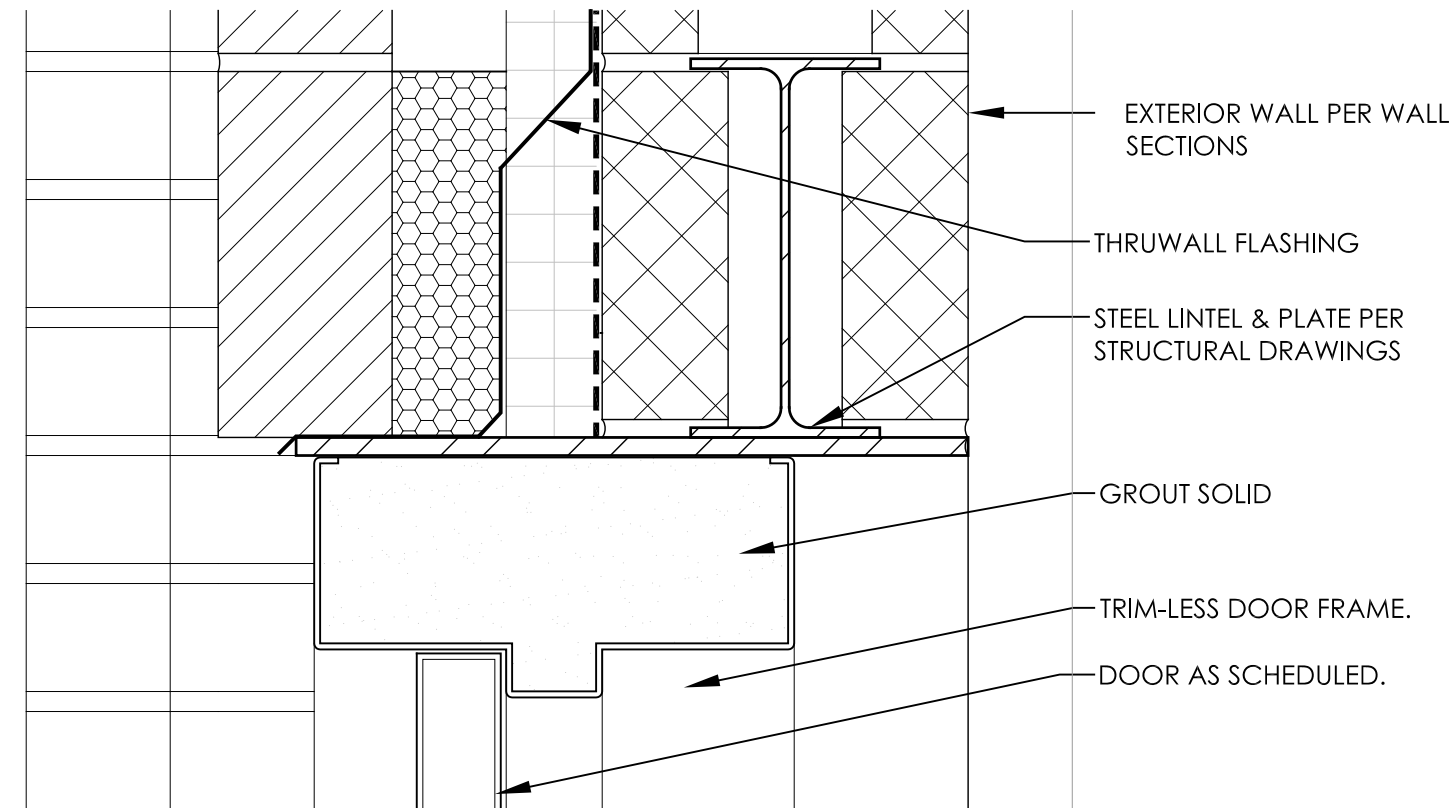
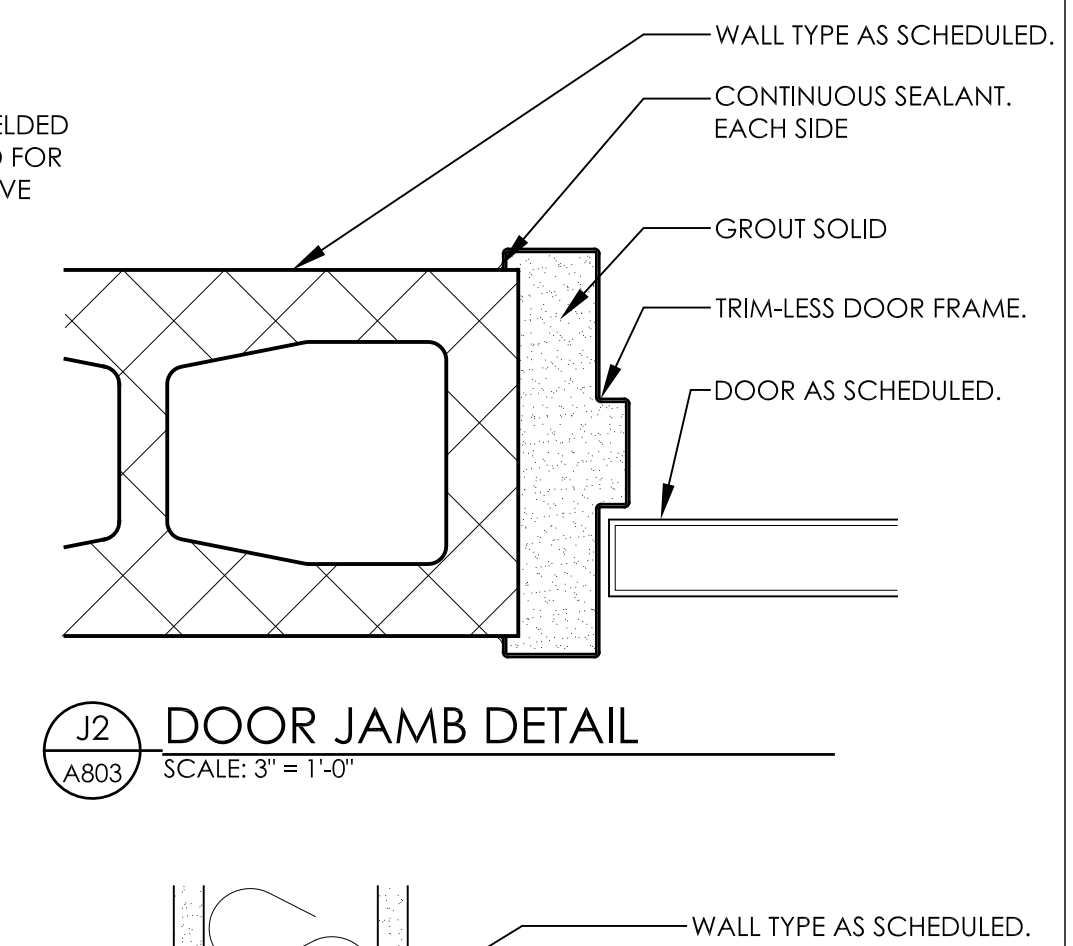
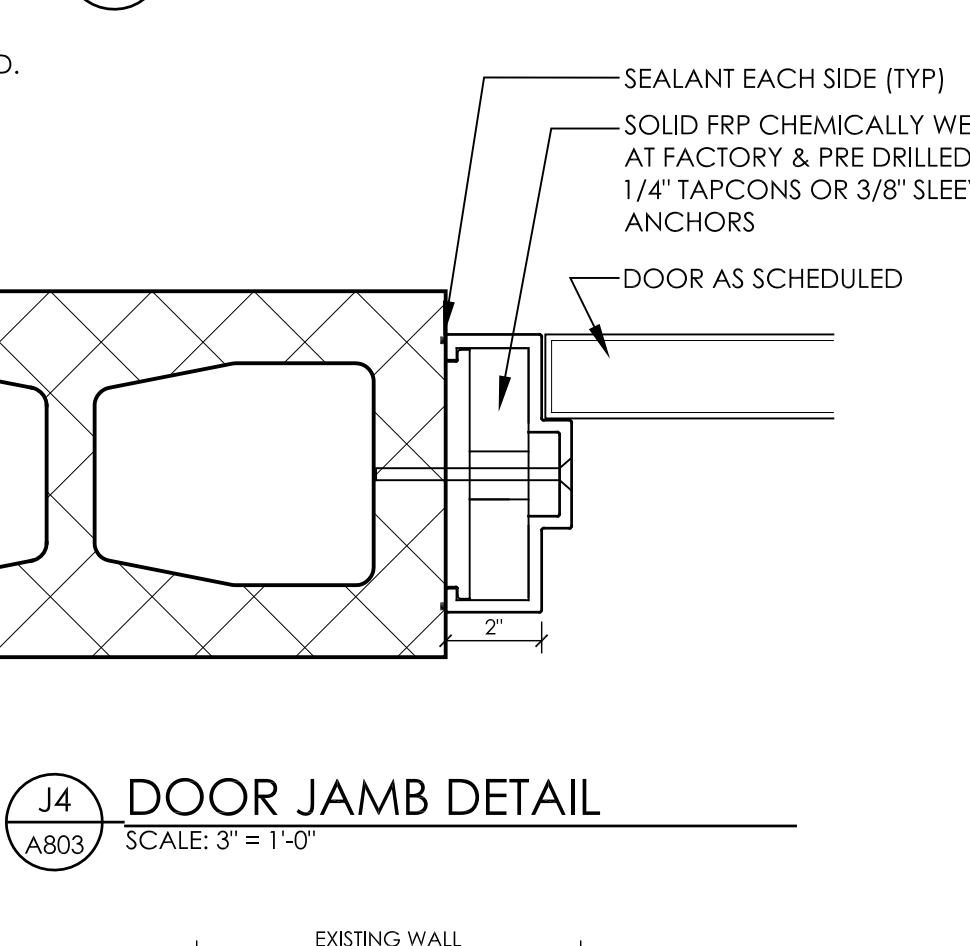
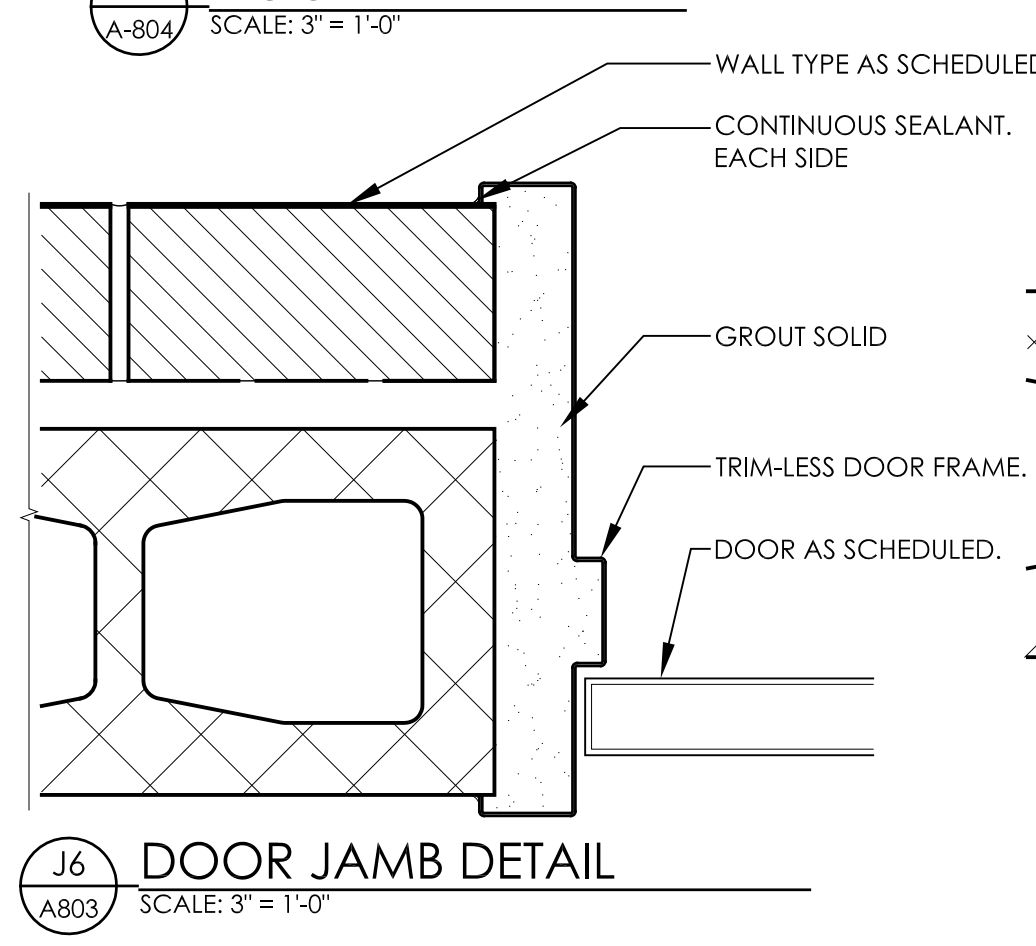
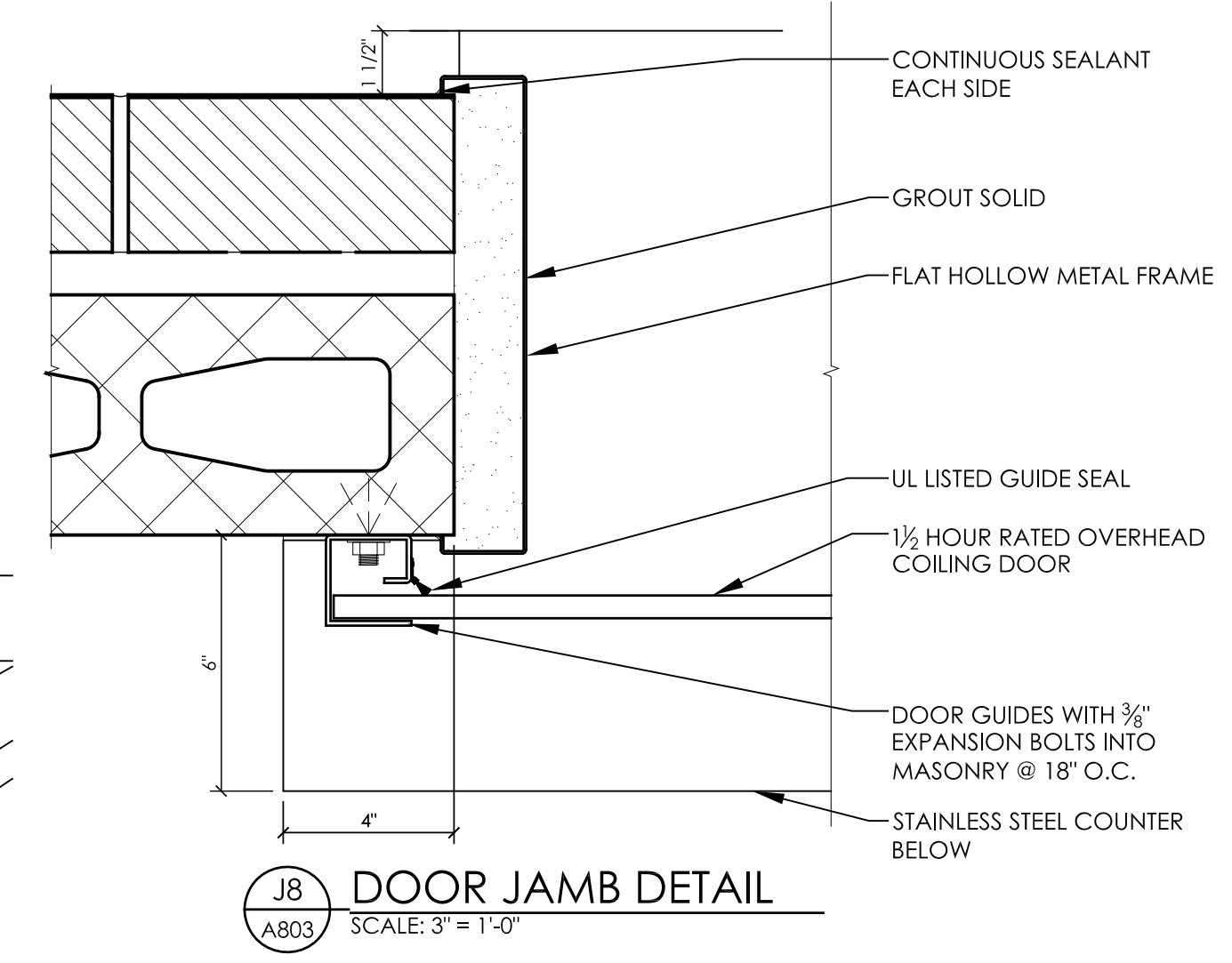
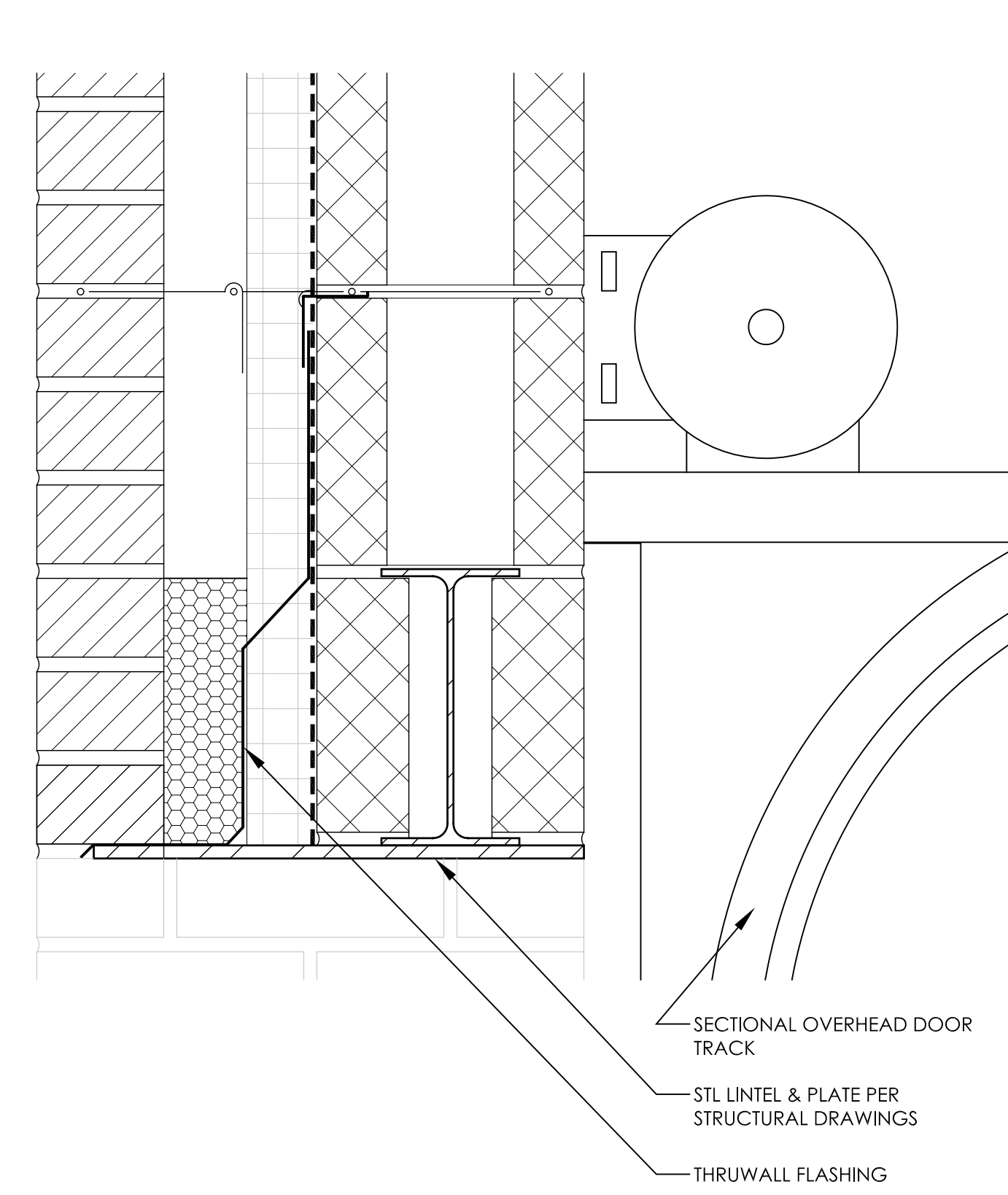
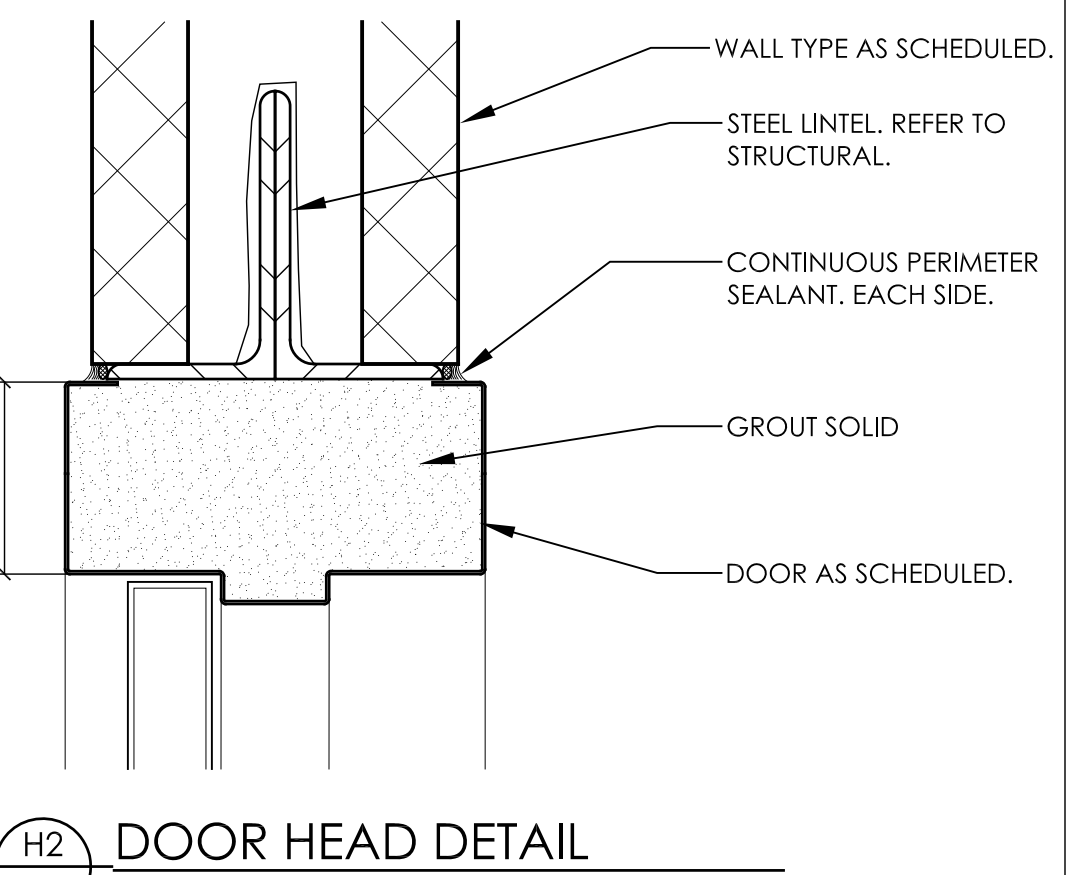
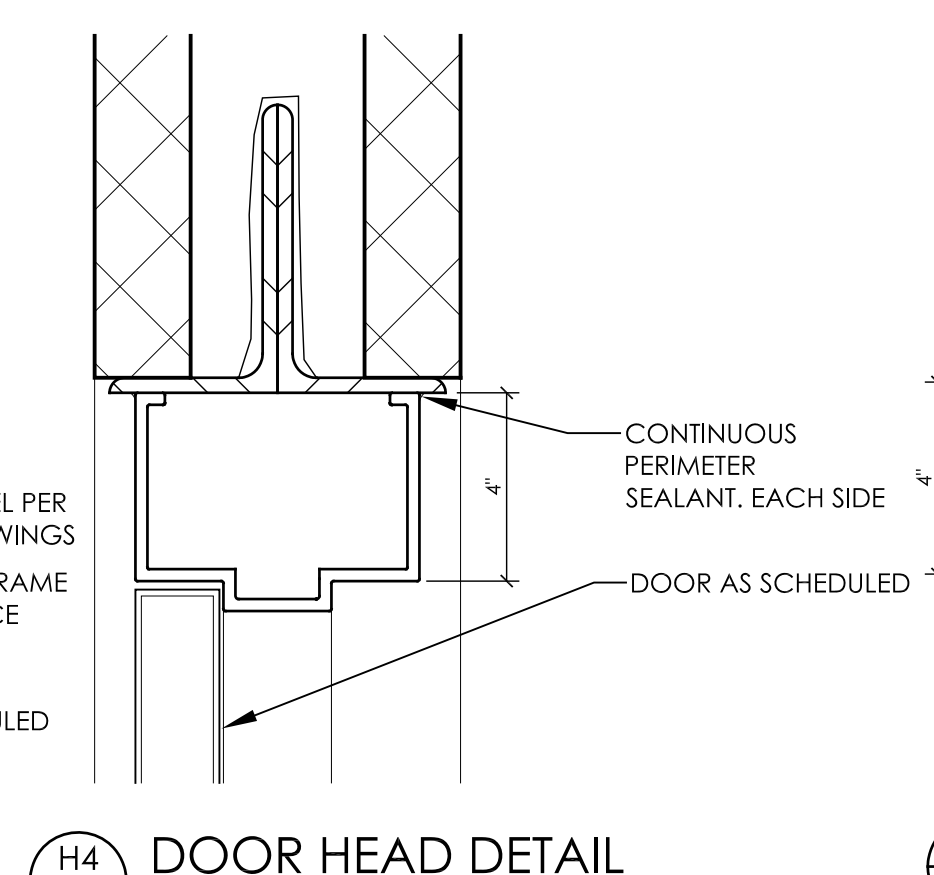
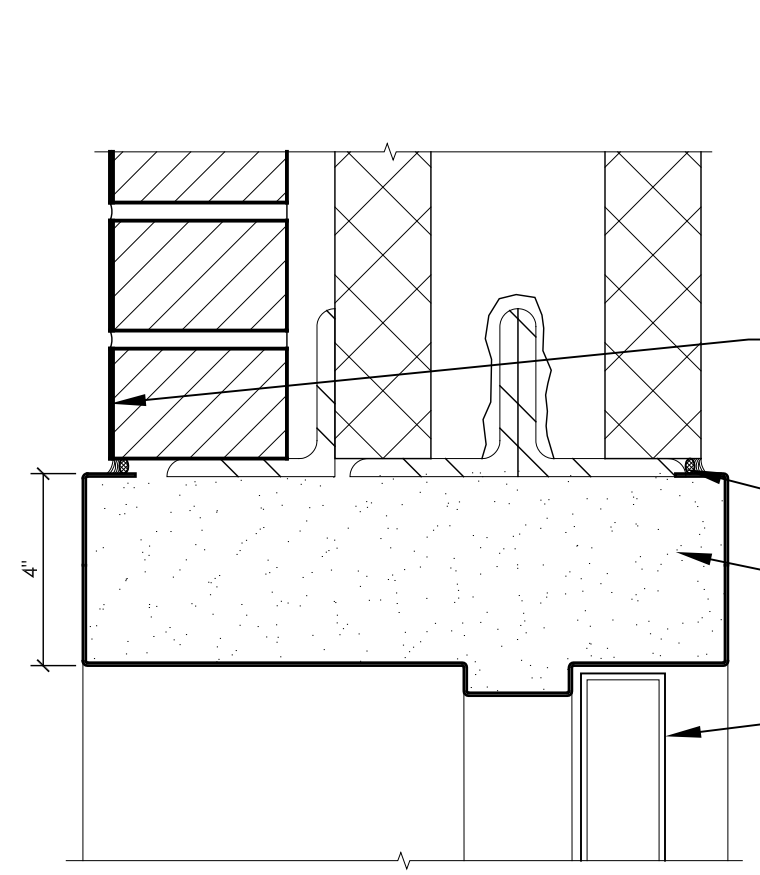
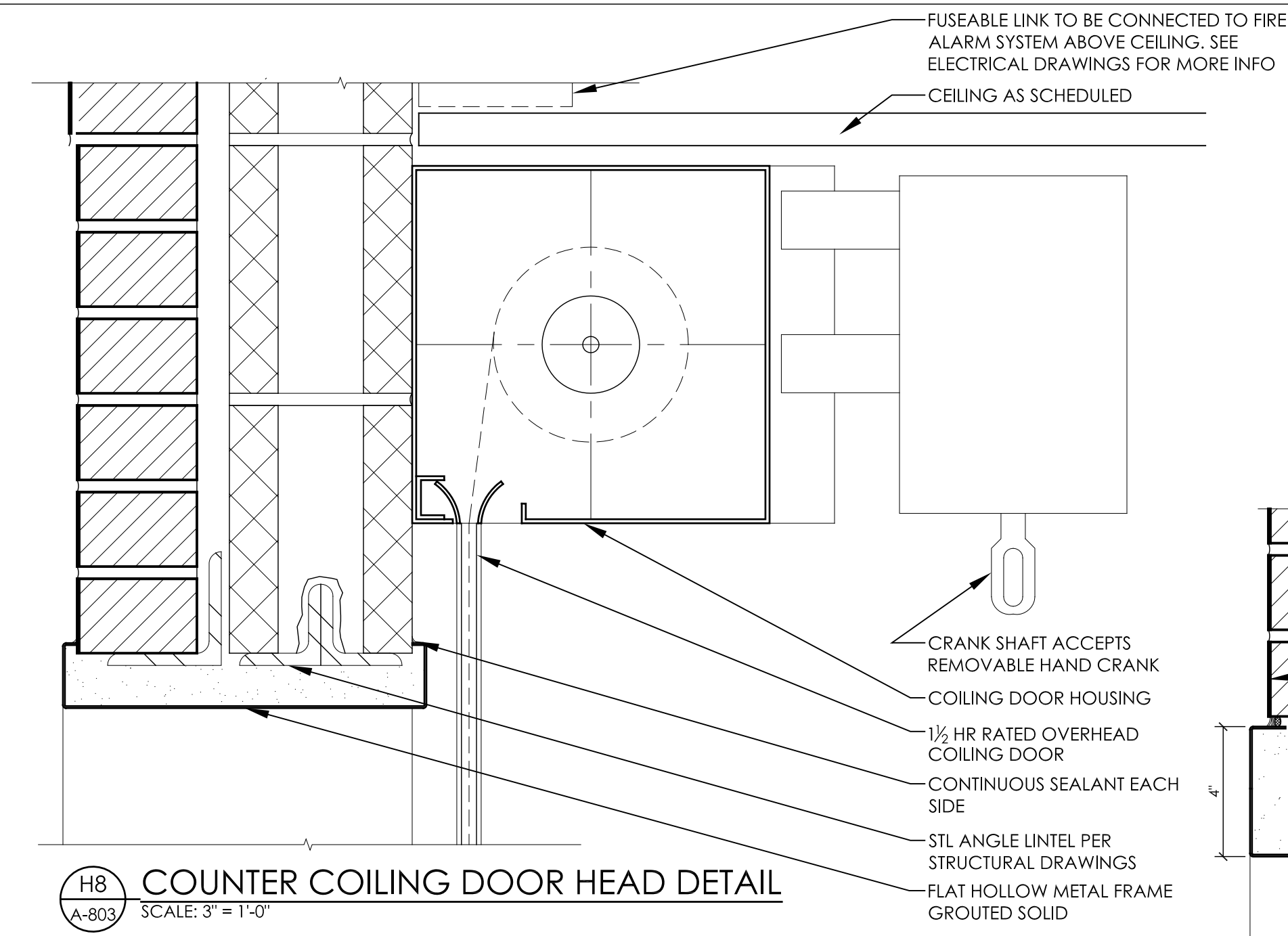
- PROVIDE TRANSITION STRIPS AS REQUIRED BETWEEN NEW FINISH AND EXISTING ADJOINING FINISH, AND BETWEEN DIFFERENT NEW FLOORING FINISHES. TRANSITION STRIPS TO BE LOCATED BENEATH DOORS.
- CLEAN AND PREPARE EXISTING CONCRETE STRUCTURE TO RECEIVE NEW PAINT.
- COORDINATE WITH RCP'S FOR EXTENT OF FINISH HEIGHT. WHERE A CLOUD CEILING EXISTS, WALL FINISH TO CONTINUE UP TO DECK.

ROOM FINISH SCHEDULE												
ROOM NO.	ROOM NAME	FLOOR	BASE	WALL				CEILING				REMARKS
				NORTH	SOUTH	EAST	WEST					
<b>BASEMENT (ADDITION)</b>												
A001	POOL MECHANICAL	C-5	R8	C-PT	C-PT	C-PT	C-PT	EXP-PT				
A1001	STAR	C-5	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
<b>BASEMENT (RENOVATION)</b>												
3	STAIR	ETR	ETR	ETR	ETR	ETR	ETR	ETR				
4	STAIR	ETR	ETR	ETR	ETR	ETR	ETR	ETR				
50	OFFICE	VCT	R8	EXIST-PT	CMU-PT	CMU-PT	CMU-PT	EXIST-PT	ACT-1			
51	MENS LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
51A	MENS TOILET	CT-1.2	CT-1.2	CMU-PT	CB-CT-3.4	CMU-PT	CMU-PT	GWB-PT				
52	BREAK ROOM	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
53	WOMENS LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
53A	WOMENS TOILET	CT-1.2	CT-1.2	CMU-PT	CB-CT-3.4	CMU-PT	CMU-PT	GWB-PT				
54	OPEN OFFICE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
56	STORAGE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
57	TOOL STORAGE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
58	GARAGE/ GROUND STORAGE	C-5	R8	CMU-PT	EXIST-PT	EXIST-PT	EXIST-PT	EXP-PT				
59	BOYS ROOM	CT-1.2	CT-1.2	CB-CT-3.4	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
60	GIRLS ROOM	CT-1.2	CT-1.2	CB-CT-3.4	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
61	LOADING DOCK	C-5	R8	CMU-PT	CMU-PT	ETR	ETR	EXP-PT				
62	CHEM/ CLEANING STORAGE	VCT	R8	EXIST-PT	CMU-PT	TRF	TRF	EXP-PT				
63	WASHROOM	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT	AT FINISH TO REMAIN PORTION OF WALL WITH SPACE. FINISH TO CONTINUE TO WALL - C-5.			
64	STORAGE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
65	MECHANICAL ROOM	C-5	R8	CMU-PT	GWB-PT	CMU-PT	GWB-PT	EXP-PT				
66	FURNITURE /EQUIP STORAGE	VCT	R8	CMU-PT	GWB-PT	CMU-PT	GWB-PT	EXP-PT				
66A	ELEVATOR MACHINE ROOM	C-5	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
67	PUMP ROOM	N/A	N/A	N/A	N/A	N/A	N/A	N/A				
67A	MECHANICAL ROOM	N/A	N/A	N/A	N/A	N/A	N/A	N/A				
68	WALKER ROOM	N/A	N/A	N/A	N/A	N/A	N/A	N/A	PARTI-FINISHED WALL @ SV CORNER OF ROOM			
68A	MECHANICAL ROOM	N/A	N/A	N/A	N/A	N/A	N/A	N/A				
69	LAUNDRY	VCT	R8	CMU-PT	EXIST-PT	EXIST-PT	EXIST-PT	EXP-PT				
70	MECHANICAL ROOM	C-5	R8	CMU-PT	ETR	CMU-PT	ETR	EXP-PT	EXIST TILE WALL - ETR			
70A	CUSTODIAL	VCT	R8	EXIST-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
70B	PIPE ACCESS	ETR	ETR	ETR	ETR	ETR	ETR	ETR				
71	OFFICE	VCT	R8	CMU-PT	EXP-PT	CMU-PT	CMU-PT	ACT-1				
71A	TOILET ROOM	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
72	UNIFORM/ EQUIPMENT STORAGE	VCT	R8	CMU-PT	C-PT	ETR	C-PT	EXP-PT				
73	TEAM ROOM	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
73A	TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
73B	SHOWER	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
74	TEAM ROOM	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-3				
74A	TEAM ROOM	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-3				
74B	TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
74C	SHOWER	CT-1.2	CT-1.2	CMU-PT	CB-CT-3.4	CMU-PT	CMU-PT	GWB-PT				
75	TEAM ROOM	CT-1.2	CT-1.2	CMU-PT	EXIST-PT	EXIST-PT	EXIST-PT	ACT-3				
75A	TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
75B	SHOWER	CT-1.2	CT-1.2	CMU-PT	CB-3.4	CMU-PT	CB-1.1	GWB-PT				
76	OFFICE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
76A	TOILET	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
BC-3DA	VESTIBULE	VCT	R8	N/A	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
BC-4	CORRIDOR	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
BC-4A	CORRIDOR	VCT	R8	CMU-PT	CMU-PT	CMU-PT	NA	EXP-PT				
BC-4B	CORRIDOR	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
BC-5	CORRIDOR	VCT	R8	CMU-PT	GWB-PT	CMU-PT	CMU-PT	ACT-1				
BC-5A	CORRIDOR	VCT	R8	CMU-PT	N/A	EXIST-PT	CMU-PT	EXP-PT				
BC-6	CORRIDOR	EC-3	R8	EXIST-PT	EXIST-PT	EXIST-PT	EXIST-PT	EXP-PT				
BC-7	CORRIDOR	VCT	R8	GWB-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
BC-8	CORRIDOR	VCT	R8	GWB-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
BC-8A	CORRIDOR	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
BC-8B	CORRIDOR	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
BC-9	CORRIDOR	VCT	R8	EXIST-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				

FIRST FLOOR (ADDITION)												
ROOM NO.	ROOM NAME	FLOOR	BASE	WALL				CEILING				REMARKS
				NORTH	SOUTH	EAST	WEST					
A100	GYMNASIUM	WD	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT	WOOD STRIP/TRANSITION FLOOR. FINISH STRIP/TRANSITION FLOOR BASE. ACOUSTIC-AL DECK & FRESHENED. PAINT. EXPOSED STRUCTURE			
A100A	STORAGE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
A100B	STORAGE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
A101	WEIGHT ROOM	RSF, RST	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
A102	7/8 BOYS LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A102A	BOYS SHOWERS	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE. CB & CT AT SHOWER STALLS			
A102B	BOYS TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A103	ATHLETIC STAFF	CPT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
A103A	LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A103B	TOILET	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE. CB & CT AT SHOWER STALLS			
A104	7/12 BOYS LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A104A	BOYS SHOWERS	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE. CB & CT AT SHOWER STALLS			
A104B	BOYS TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A105	TRAINING	SV	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
A106	7/12 GIRLS LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A106A	GIRLS SHOWERS	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE. CB & CT AT SHOWER STALLS			
A106B	GIRLS TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A107	A.D. OFFICE	CPT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
A108	ATHLETIC STAFF	CPT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
A108A	LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A108B	TOILET	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE. CB & CT AT SHOWER STALLS			
A109	CUSTODIAN	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT	FRP PANELS @ (2) WALLS ADJACENT TO MOP SINK			
A110	7/8 GIRLS LOCKER	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A110A	GIRLS SHOWERS	CT-1	CT-1	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE. CB & CT AT SHOWER STALLS			
A110B	GIRLS TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT	3/4" x 7/8" COVE BASE			
A111	CONCESSION	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
A111A	STORAGE	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
A112	DATA CLOSET	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	EXP-PT				
A113	LOBBY	BR/GB	GFR	GFR	GFR	GFR	GFR	ACT-1	PAINT EXPOSED STEEL. CLEAN FINISH AT EXPOSED WOOD STRUCTURE. ALCOVES CEILING = ACT-5.			
A114	WOMENS TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
A115	MENS TOILET	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	GWB-PT				
A116	SECURITY	VCT	R8	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-1				
TC-5	CORRIDOR (ADDITION)	TER	TER	GWB-PT	GWB-PT	GWB-PT	GWB-PT	ACT-1	MATCH EXIST ADJACENT TERRAZZO			
TC-7	VESTIBULE	BR-4	BR-2	N/A	N/A	N/A	N/A	ACT-1	MATCH EXIST ADJACENT TERRAZZO			
TC-7A	CORRIDOR	BR-4	BR-2	N/A	N/A	N/A	N/A	ACT-1	MATCH EXIST ADJACENT TERRAZZO			
TC-8	CORRIDOR	BR-4	BR-2	N/A	N/A	N/A	N/A	ACT-1	MATCH EXIST ADJACENT TERRAZZO			
TC-9	CORRIDOR	BR-2	GFR	N/A	N/A	N/A	N/A	ACT-1	MATCH EXIST ADJACENT TERRAZZO			
TC-10	VESTIBULE	BR-2	GFR	N/A	N/A	N/A	N/A	ACT-1	MATCH EXIST ADJACENT TERRAZZO			
TC-11	CORRIDOR	CT-1.2	CT-1.2	CMU-PT	CMU-PT	CMU-PT	CMU-PT	ACT-3				

FIRST FLOOR (RENOVATION)											
ROOM NO.	ROOM NAME										





**RCSD**  
**James Monroe High School**  
**Rochester Schools**  
**Modernization Program**  
**Phase 2B**

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/18/17

JOB NO.	1625
SCALE	1/8" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	EG
CHECKED BY	CJ

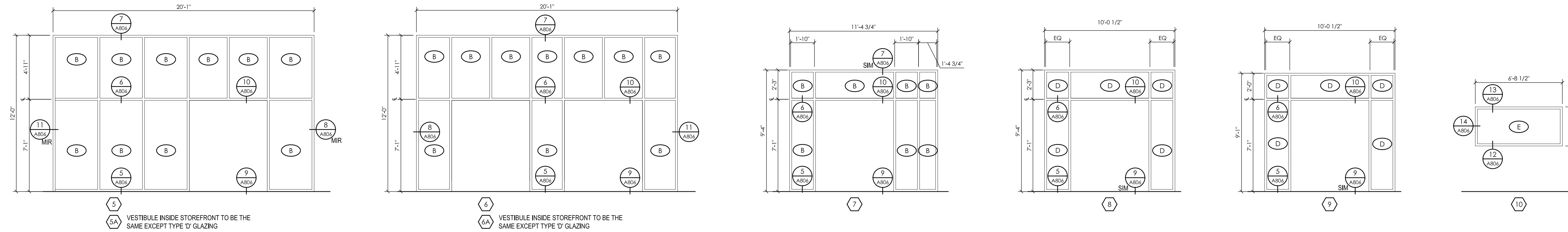
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**DOOR**  
**DETAILS**

**A-803**

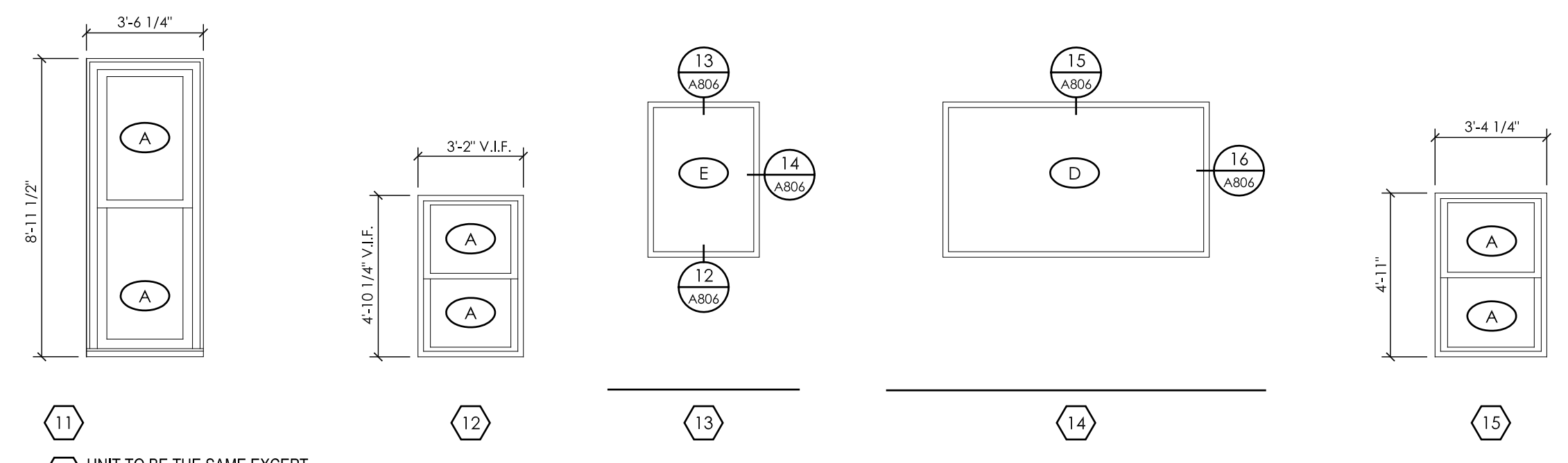


2A UNIT TO BE THE SAME EXCEPT TYPE 'F' GLAZING WITHIN GYM



5A VESTIBULE INSIDE STOREFRONT TO BE THE SAME EXCEPT TYPE 'D' GLAZING

6A VESTIBULE INSIDE STOREFRONT TO BE THE SAME EXCEPT TYPE 'D' GLAZING



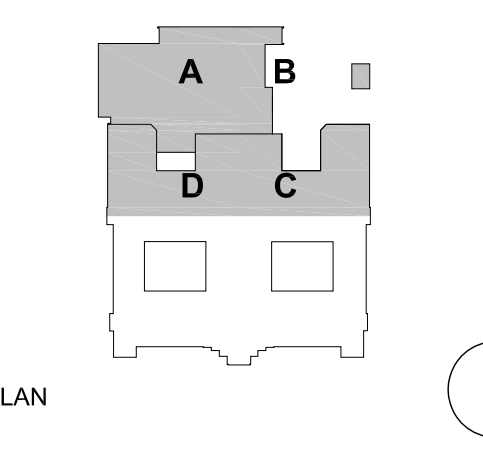
11A UNIT TO BE THE SAME EXCEPT TYPE 'F' GLAZING WITHIN GYM

GLAZING SCHEDULE (X)	
A.	<b>INSULATED</b> 1" THICK, 1/4" LAMINATED INNER & OUTER LITES, FACTORY GLAZED, LOW-E GLASS
B.	<b>INSULATED</b> 1" THICK, 1/4" TEMPERED OUTER LITE & 1/4" LAMINATED INNER LITE, DOUBLE (INSIDE) GLAZED, LOW E GLASS
C.	<b>INSULATED</b> 1 1/8" MAX. THICK, 3/16" MIN TEMPERED OUTER LITE & 3/16" MIN. LAMINATED INNER LITE, DOUBLE (INSIDE) GLAZED, HIGH PERFORMANCE, LOW E GLASS
D.	<b>INTERIOR</b> 1/4" THICK LAMINATED
E.	<b>INTERIOR FIRE RATED</b> 1/4" THICK, FIRE RATED, GLASS-CERAMIC SAFETY GLAZING
F.	<b>OKALUX</b> 1" THICK, 1/4" TEMPERED OUTER LITE & 1/4" LAMINATED INNER LITE, CAPILLARY GLASS

NOTE: DIMENSIONS ARE NOMINAL DIMENSIONS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.



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RCS  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

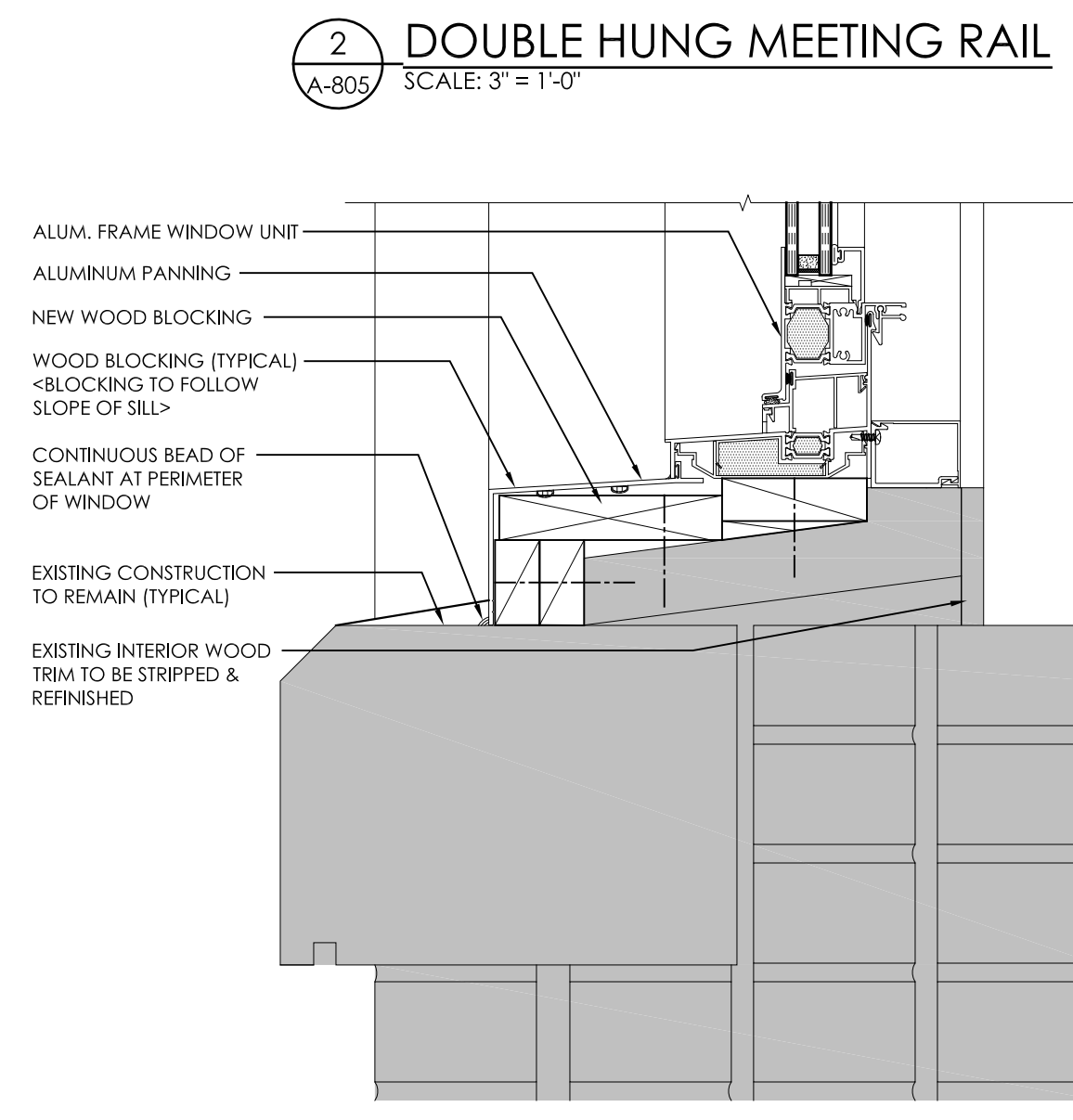
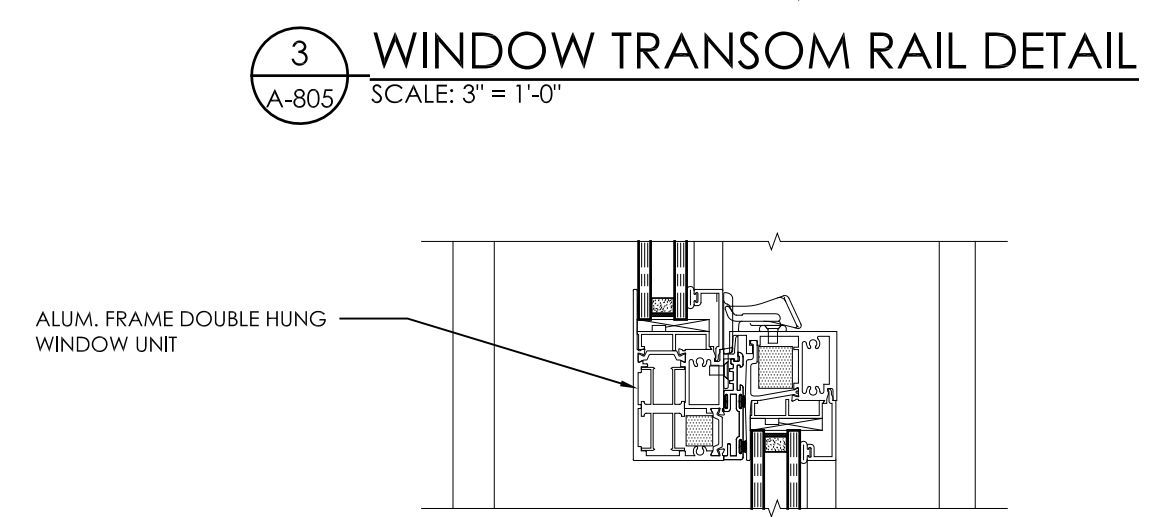
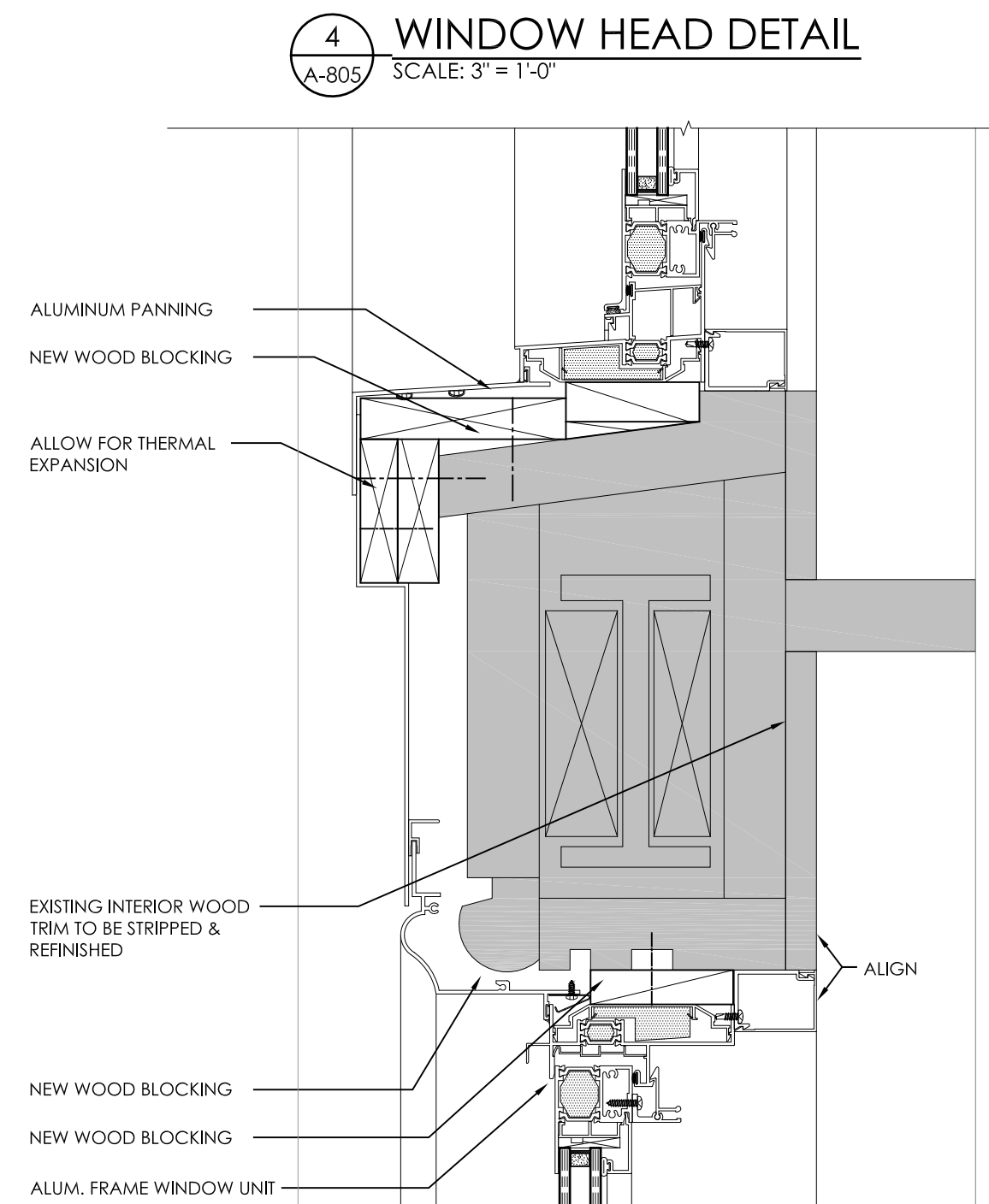
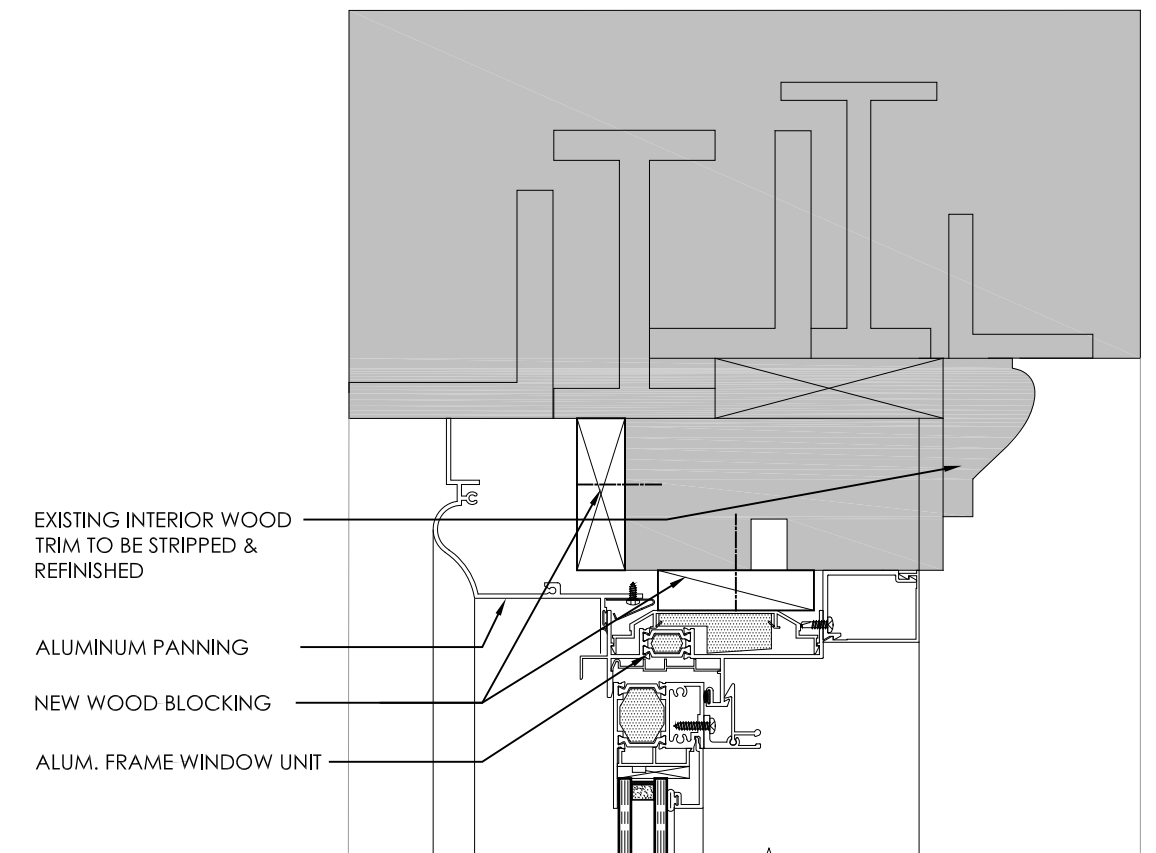
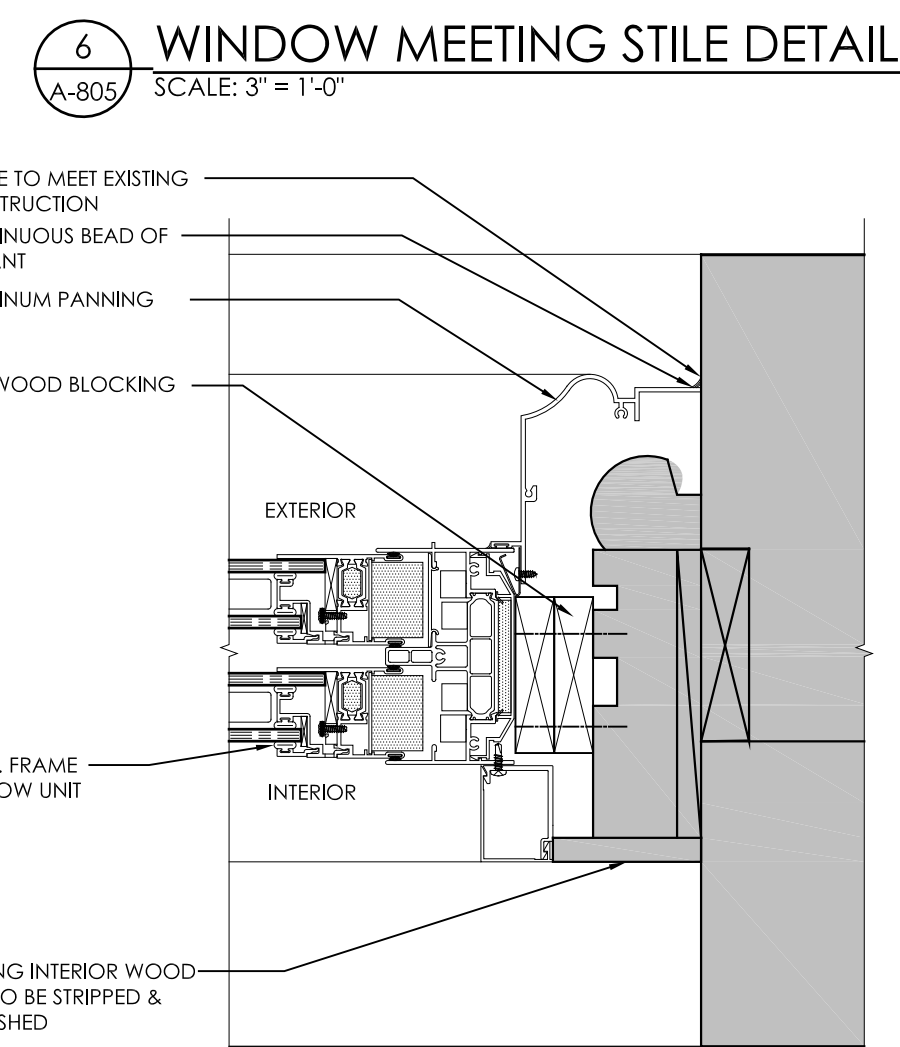
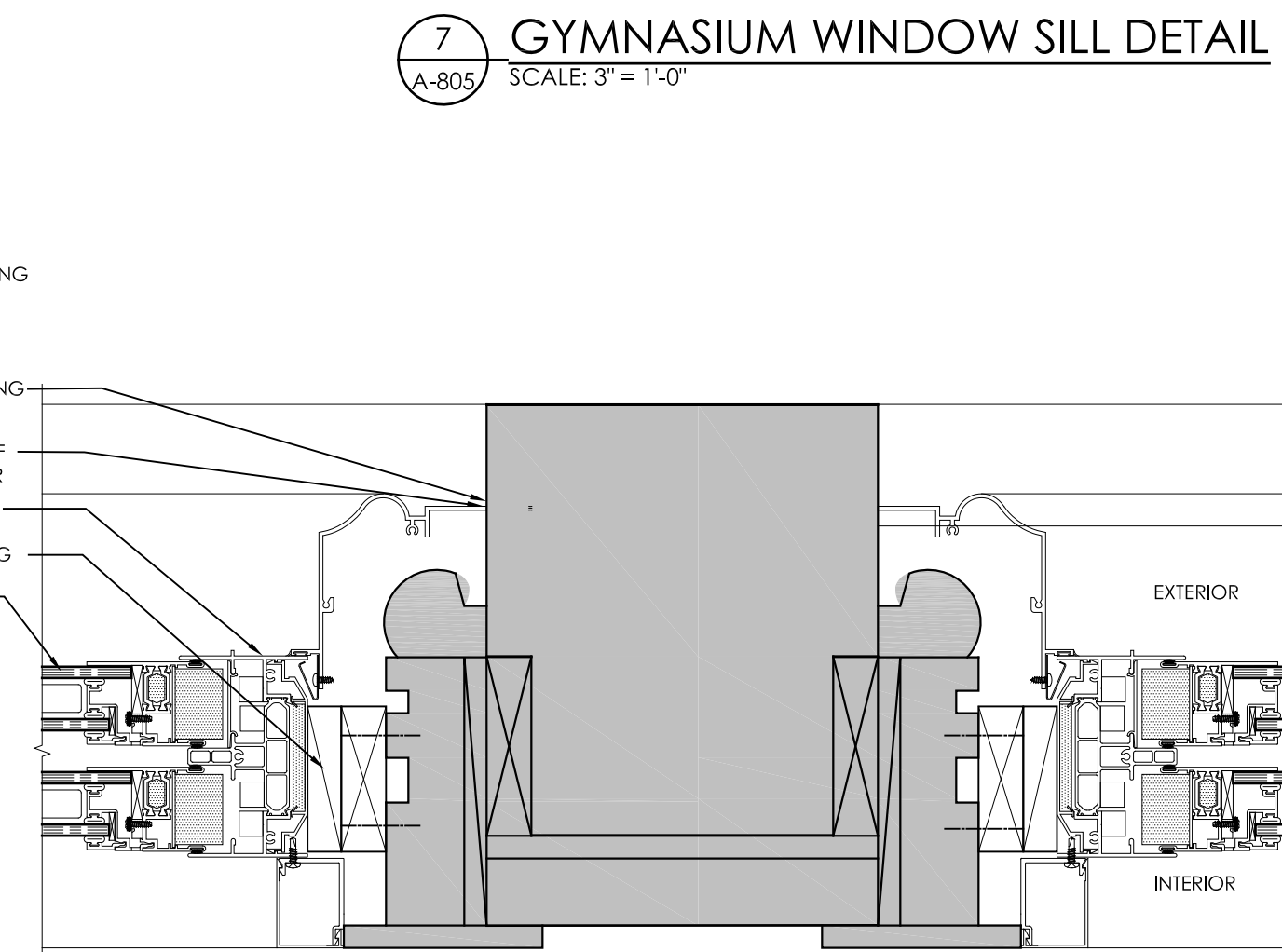
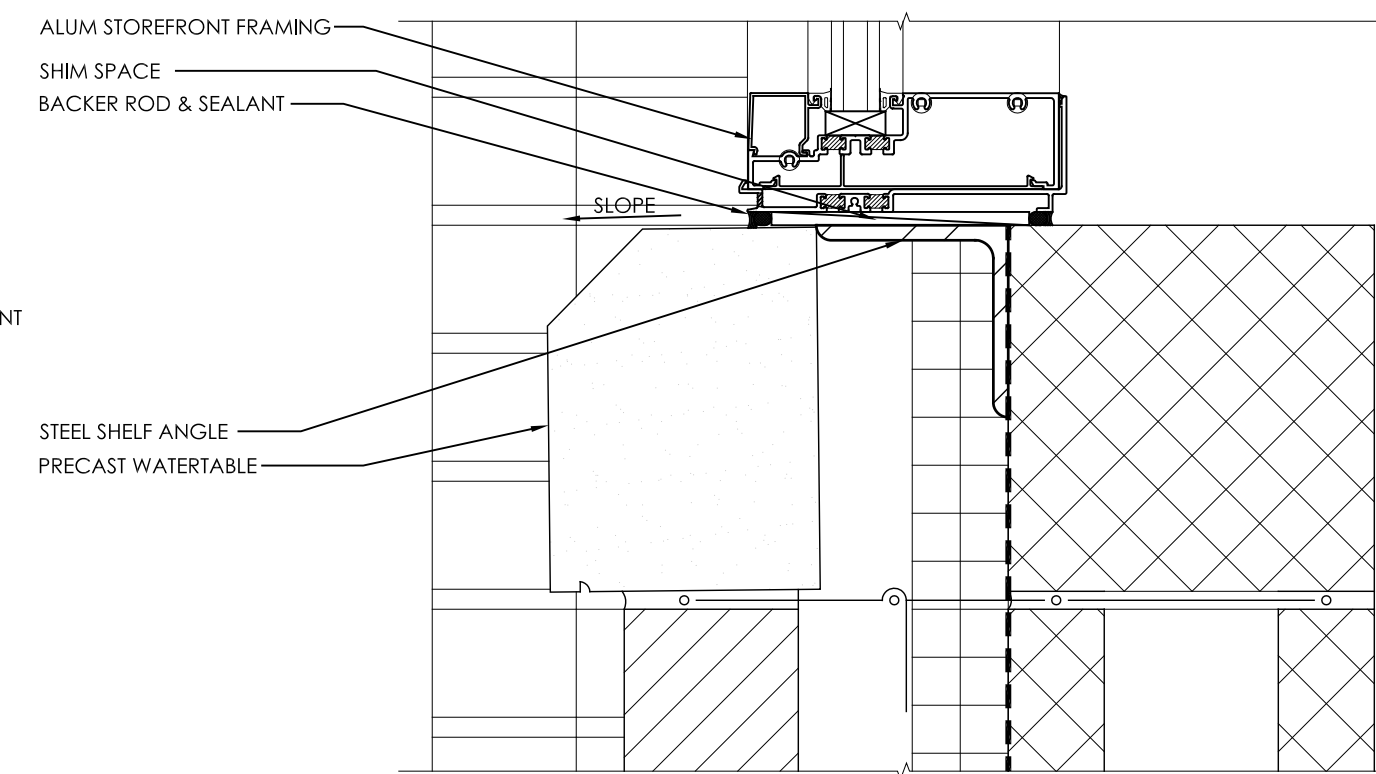
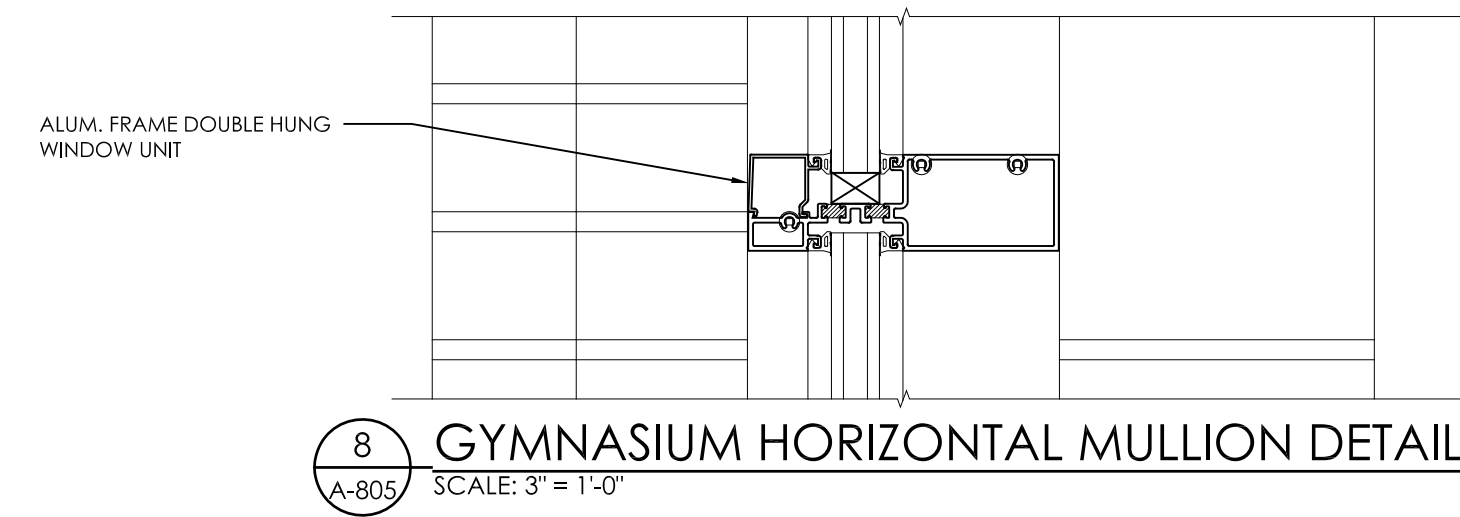
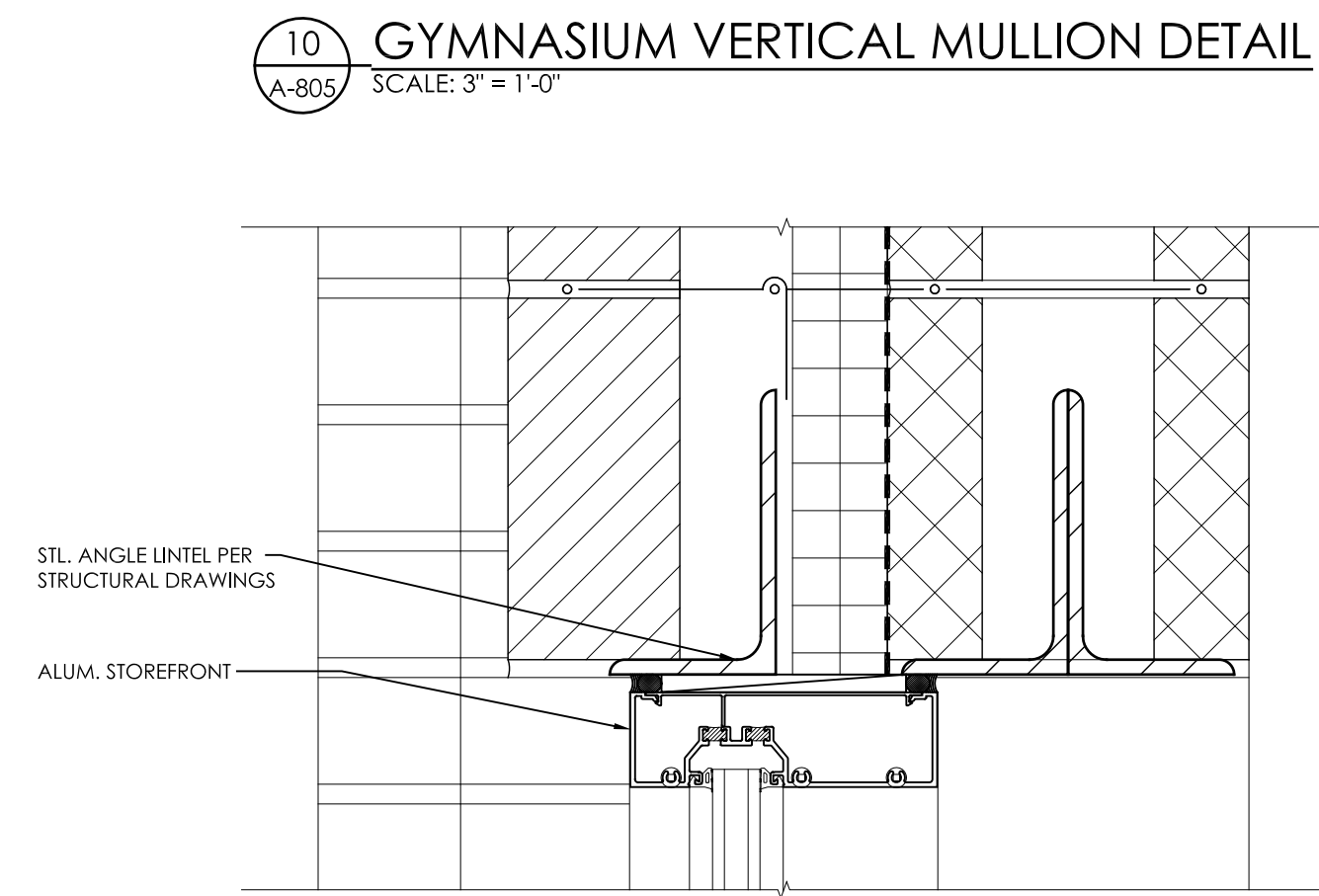
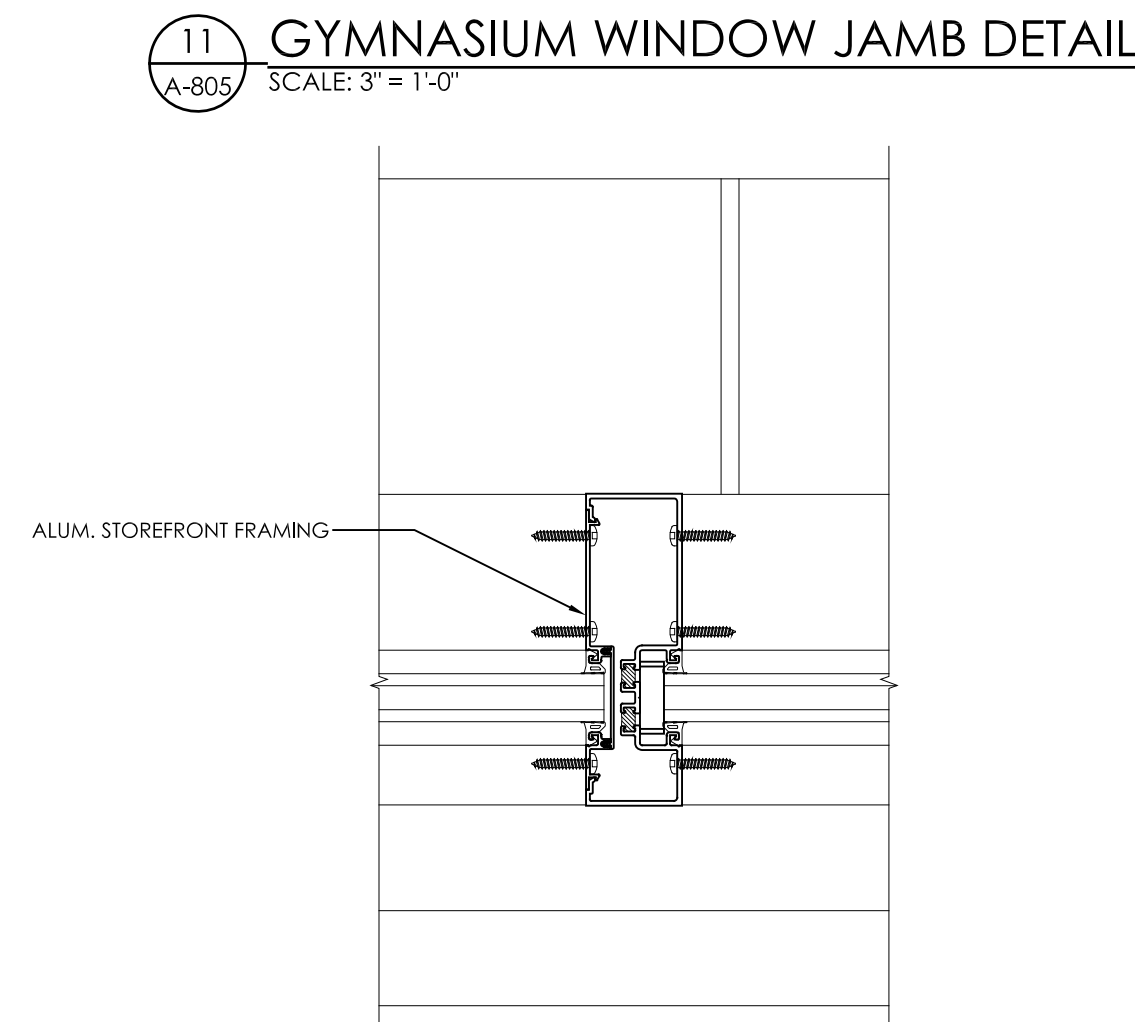
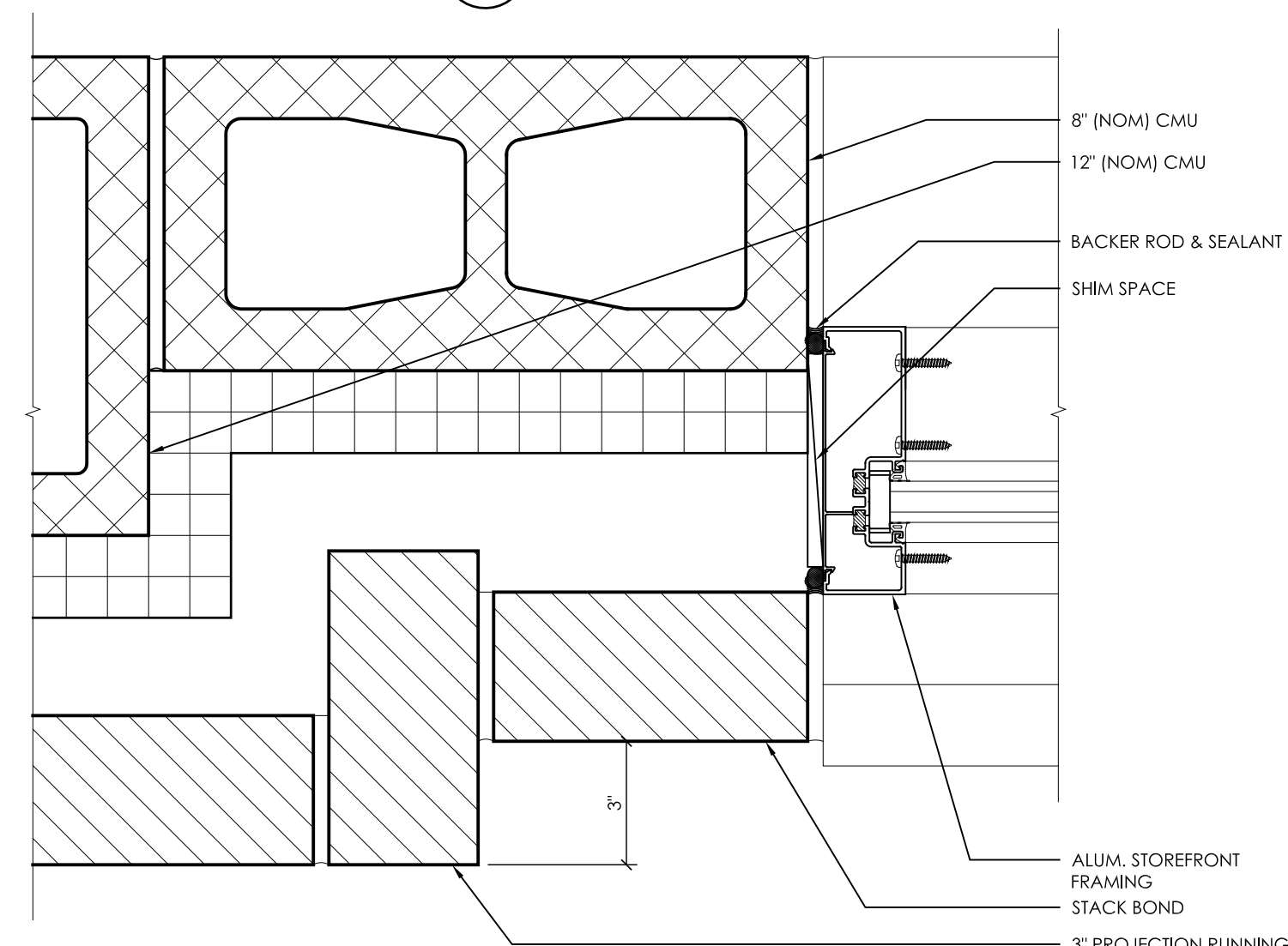
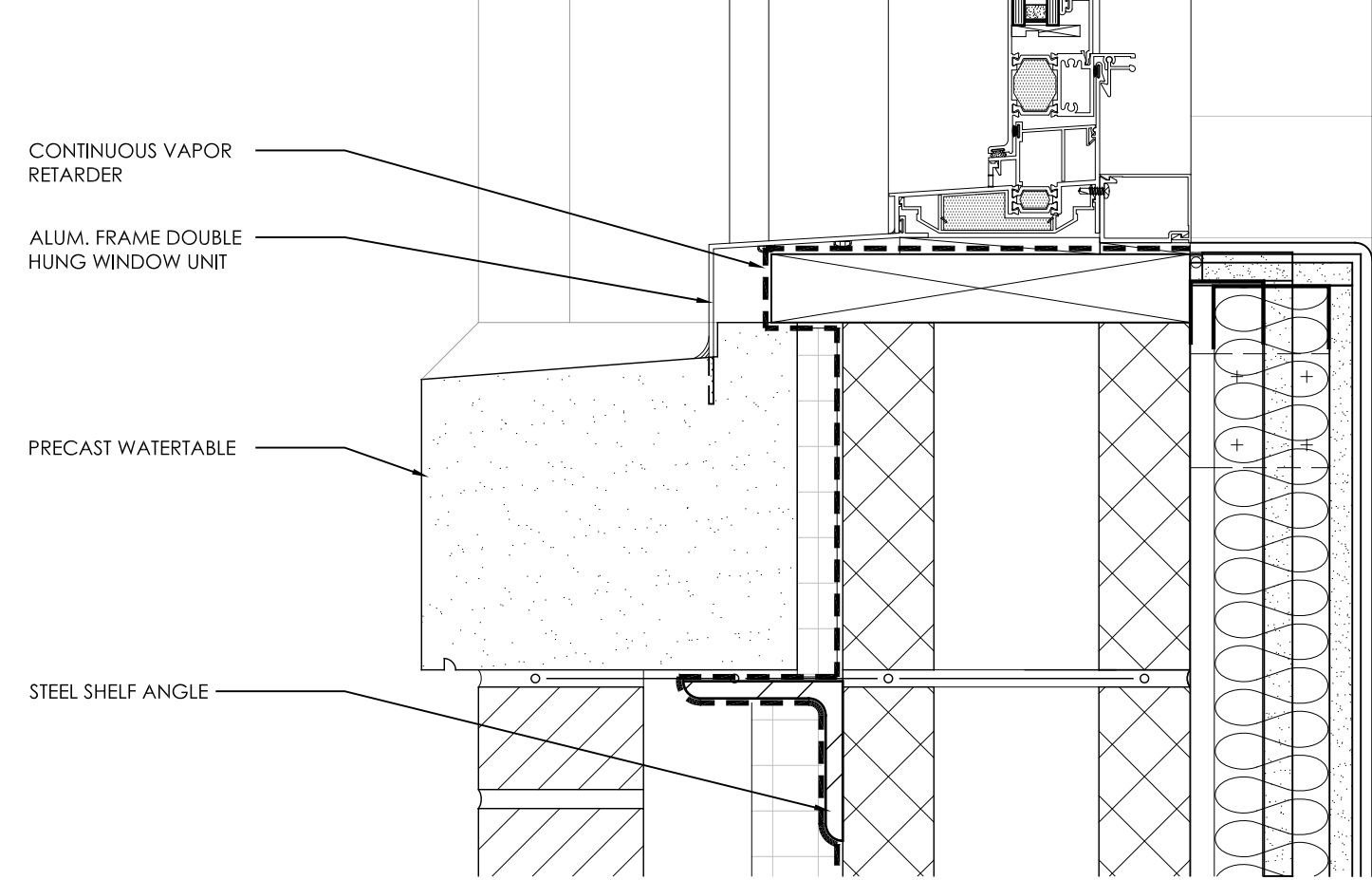
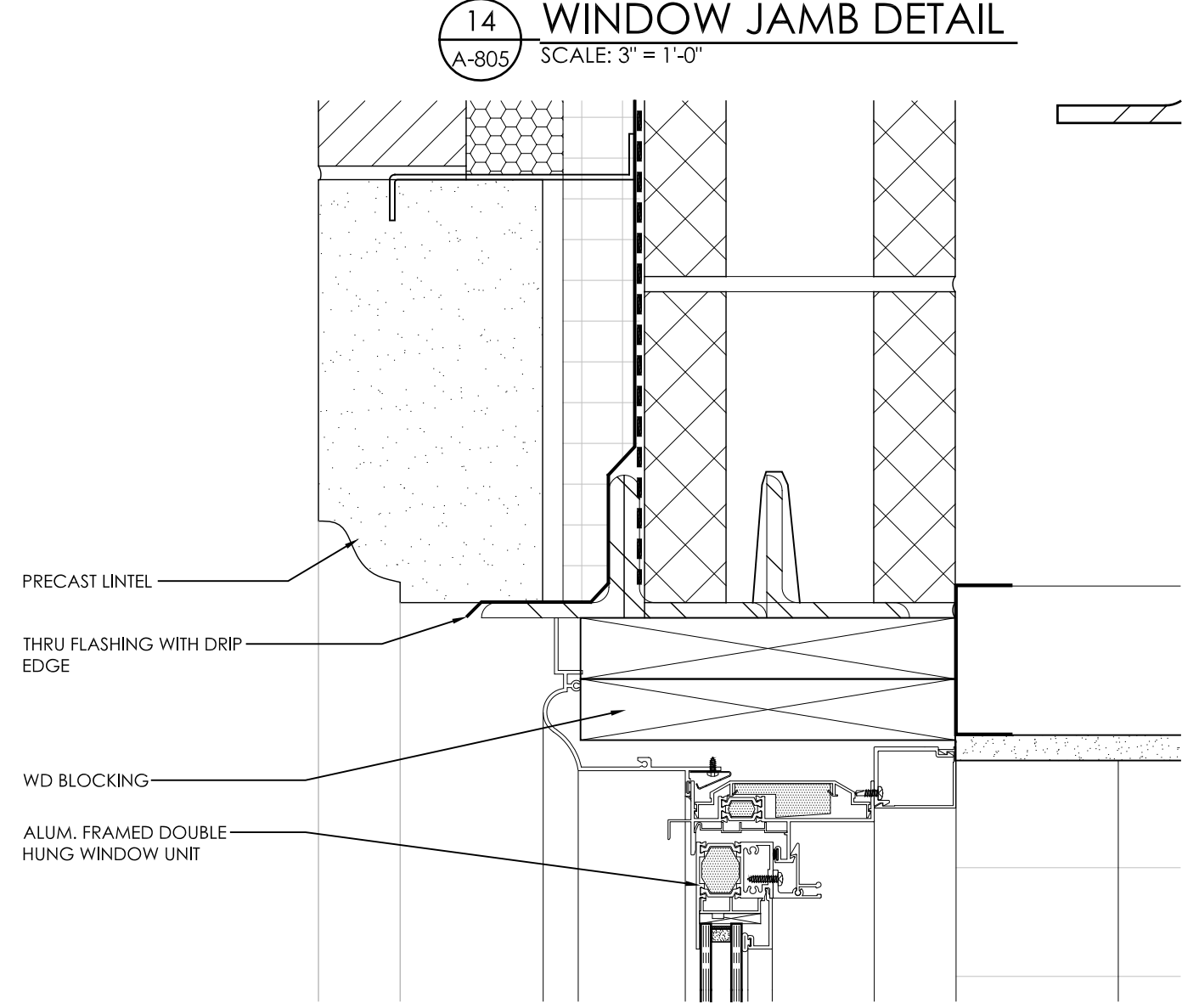
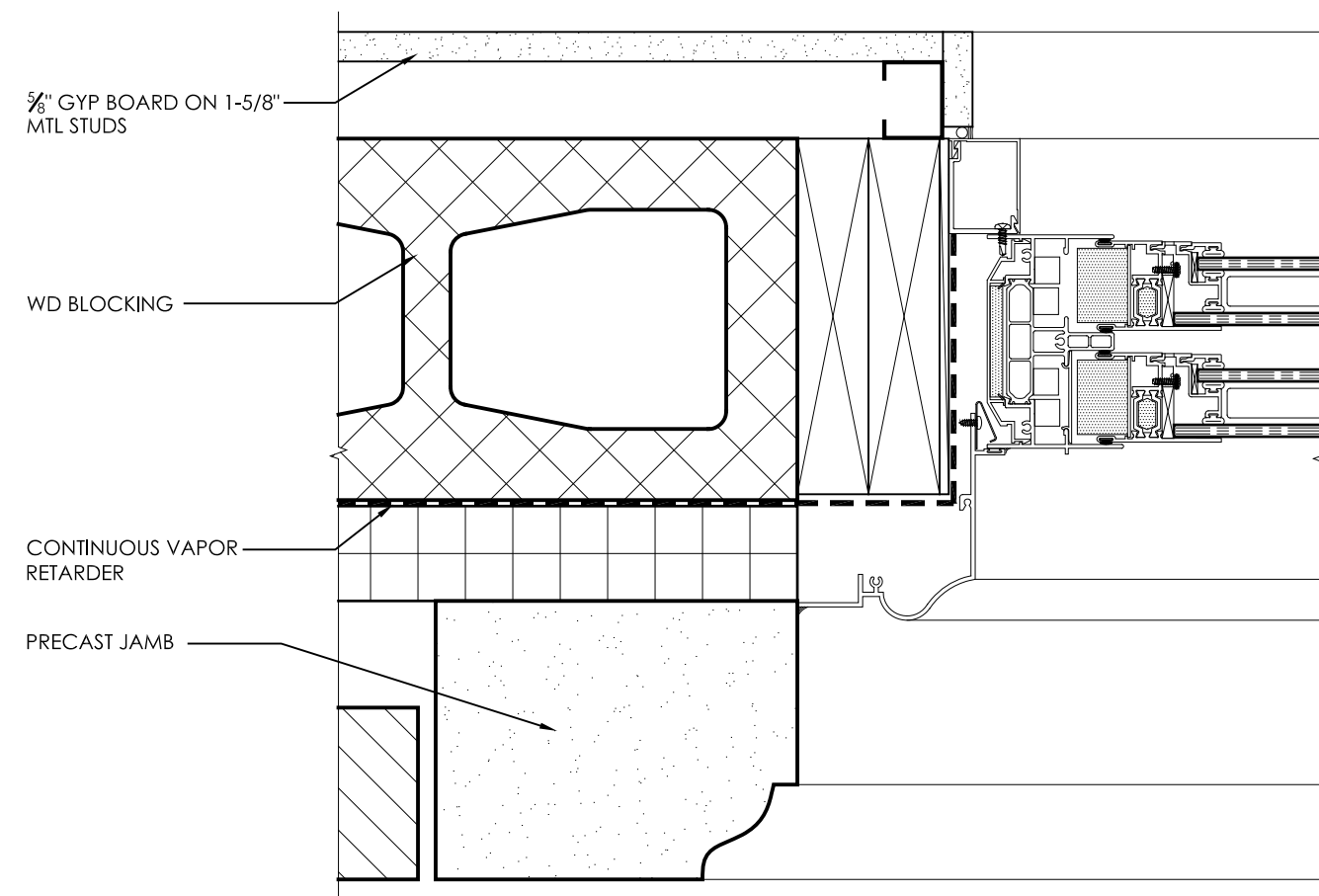
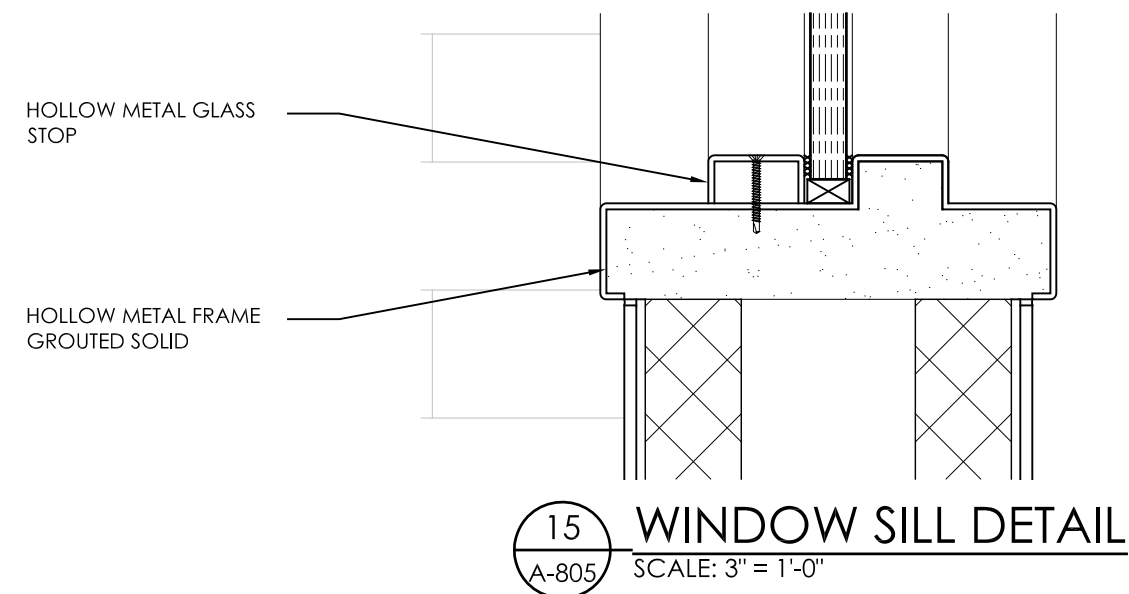
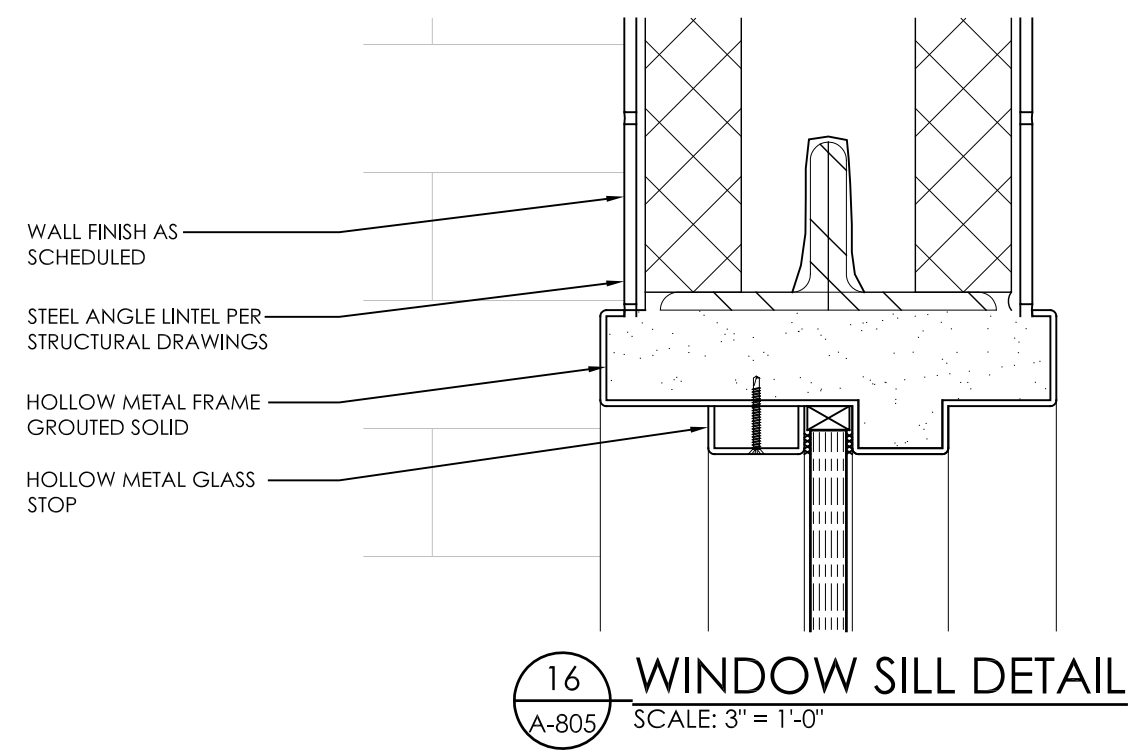
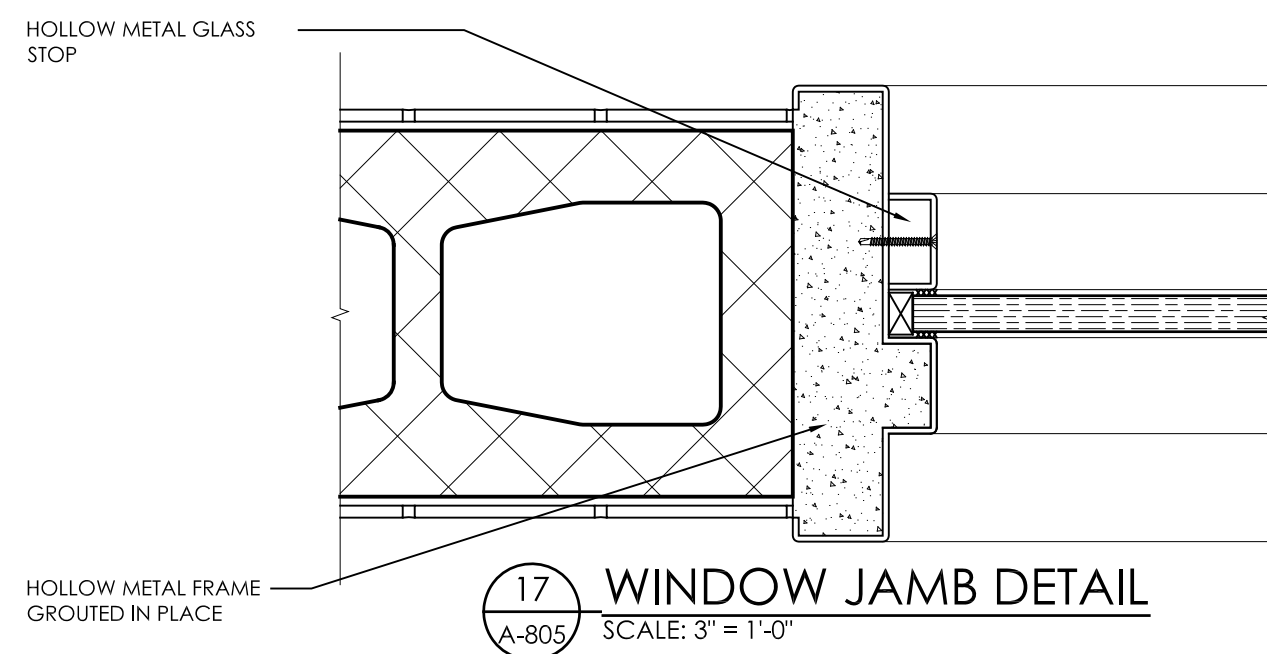
REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/18/17

JOB NO.	1625
SCALE	1/8" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	ETG
CHECKED BY	CJ

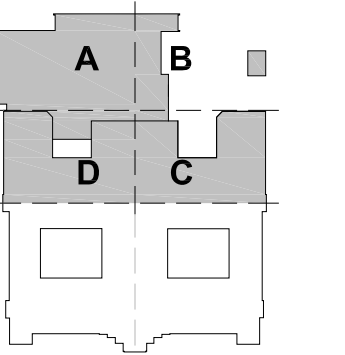
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WINDOW SCHEDULE

**A-804**



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KEY PLAN

RCS  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/18/17

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SCALE	1/8" = 1'-0"
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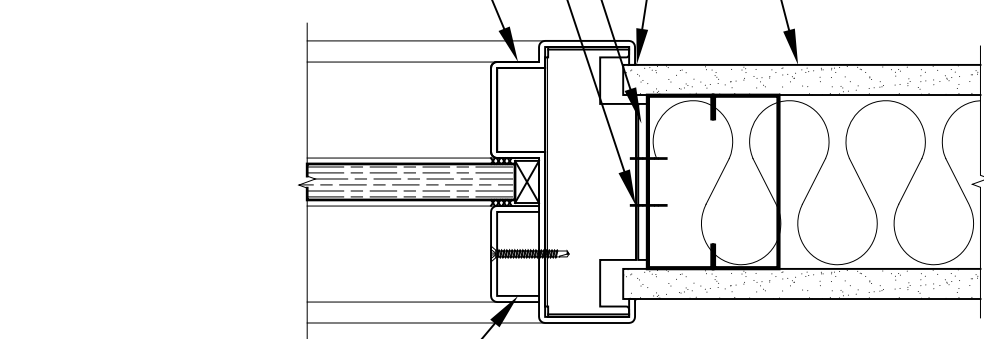
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WINDOW  
DETAILS

A-805

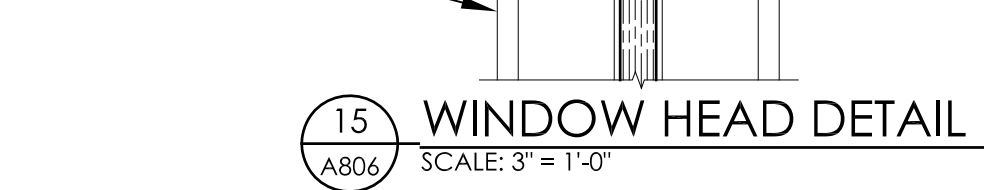
BID SET

WALL TYPE AS SCHEDULED  
CONTINUOUS PERIMETER SEALANT EACH SIDE  
SHIM  
METAL STUD WALL ANCHOR  
HOLLOW METAL DOOR FRAME



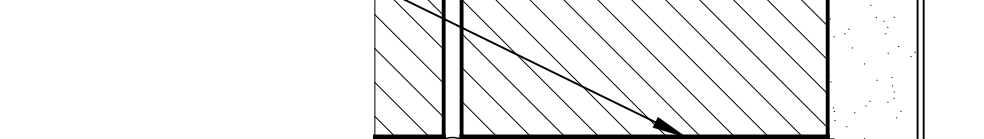
16 WINDOW HEAD DETAIL  
A-806 SCALE: 3" = 1'-0"

WALL TYPE AS SCHEDULED  
ACOUSTICAL BATT  
TRACK HEADER  
SHIM  
CONTINUOUS PERIMETER SEALANT EACH SIDE  
HOLLOW METAL DOOR FRAME  
GLASS STOP  
FRAME BEYOND



15 WINDOW HEAD DETAIL  
A-806 SCALE: 3" = 1'-0"

HOLLOW METAL GLASS STOP  
HOLLOW METAL FRAME GROUDED IN PLACE  
GLAZED BRICK



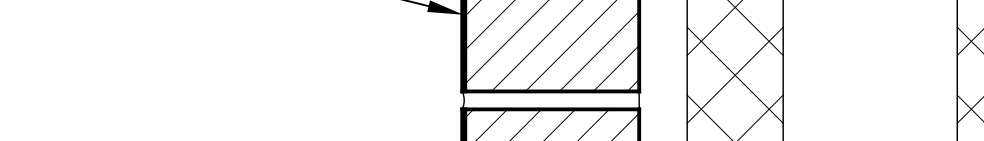
14 WINDOW JAMB DETAIL  
A-806 SCALE: 3" = 1'-0"

GLAZED BRICK  
STEEL ANGLE LINTEL PER STRUCTURAL DRAWINGS  
HOLLOW METAL FRAME GROUDED IN PLACE  
HOLLOW METAL GLASS STOP



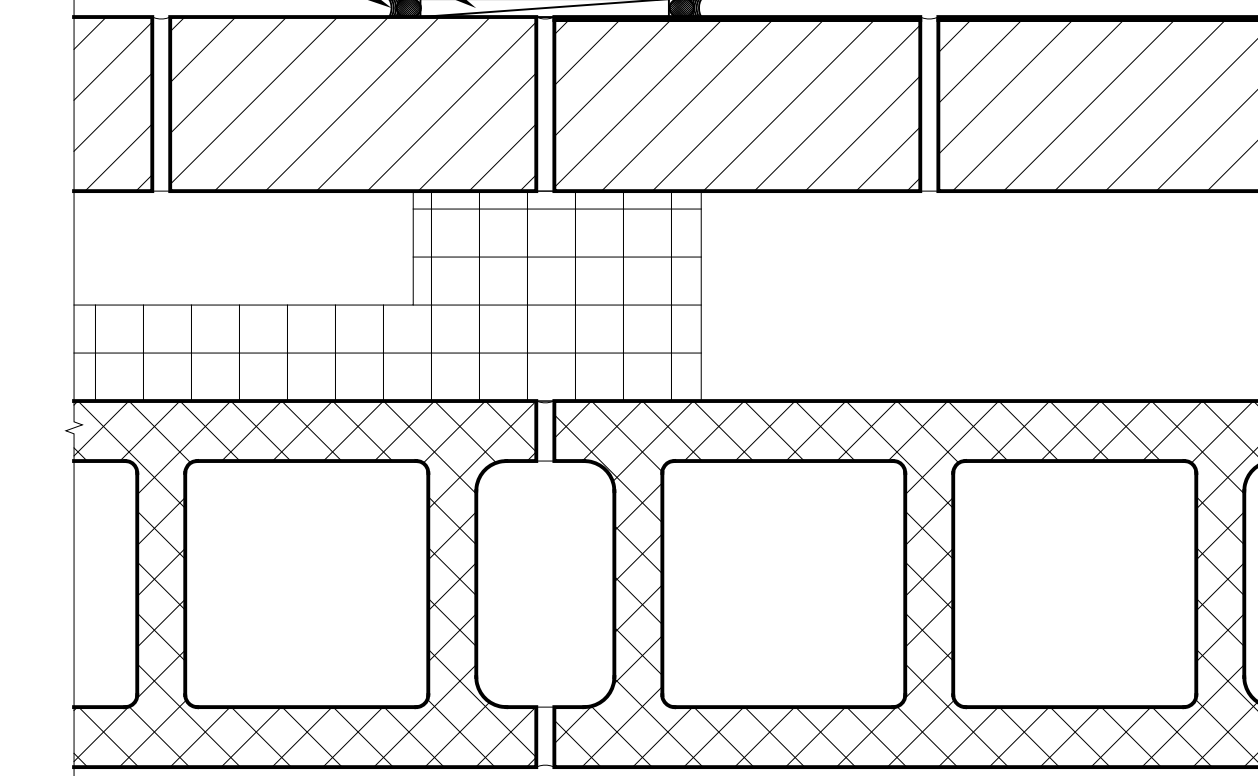
13 WINDOW JAMB DETAIL  
A-806 SCALE: 3" = 1'-0"

HOLLOW METAL GLASS STOP  
HOLLOW METAL FRAME GROUDED IN PLACE  
GLAZED BRICK



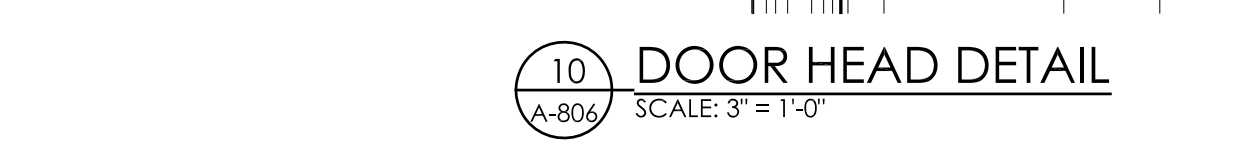
12 WINDOW JAMB DETAIL  
A-806 SCALE: 3" = 1'-0"

STL COLUMN PER STRUCTURAL DRAWINGS  
ALUM STOREFRONT FRAMING  
SHIM SPACE  
BACKER ROD & SEALANT



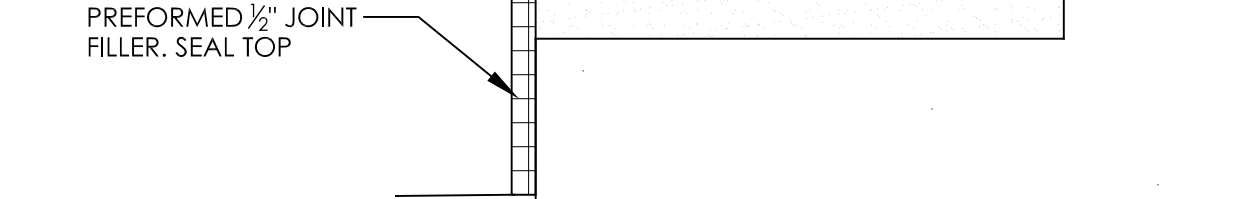
11 LOBBY JAMB DETAIL  
A-806 SCALE: 3" = 1'-0"

ALUM STOREFRONT  
ALUM STOREFRONT DOOR TOP RAIL



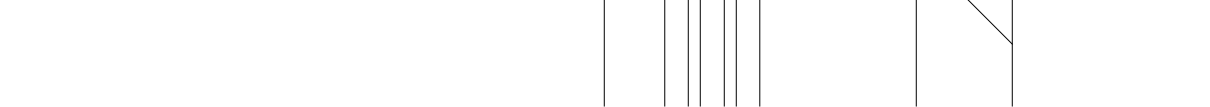
10 DOOR HEAD DETAIL  
A-806 SCALE: 3" = 1'-0"

RECESSED WALKOFF MAT  
ALUM STOREFRONT DOOR BOTTOM RAIL  
THERMALLY BROKEN ALUM THRESHOLD SET IN BED OF SEALANT  
GRANITE THRESHOLD SET IN MORTAR BED  
BACKER ROD & SEALANT  
PERFORMED 1/2" JOINT FILLER, SEAL TOP



9 DOOR THRESHOLD DETAIL  
A-806 SCALE: 3" = 1'-0"

1/2" GLASS MAT GYP BOARD, LIGHT GAUGE METAL HEADER & FRAMING WITH 2-1/2" CLOSED CELL SPRAY FOAM INSULATION  
CEILING AS SCHEDULED  
BACKER ROD & SEALANT  
SHIM SPACE  
ALUM. STOREFRONT FRAMING



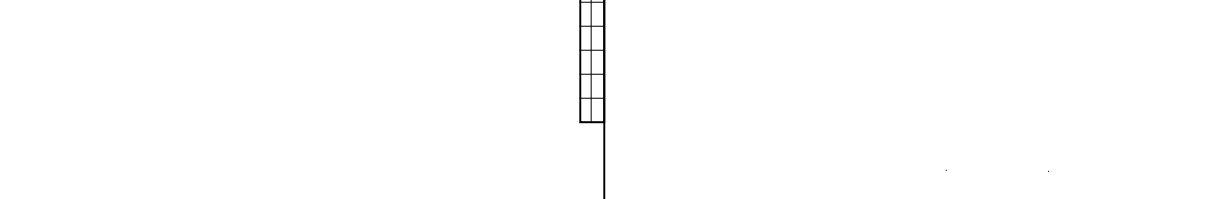
7 WINDOW HEAD DETAIL  
A-806 SCALE: 3" = 1'-0"

ALUM. STOREFRONT FRAMING



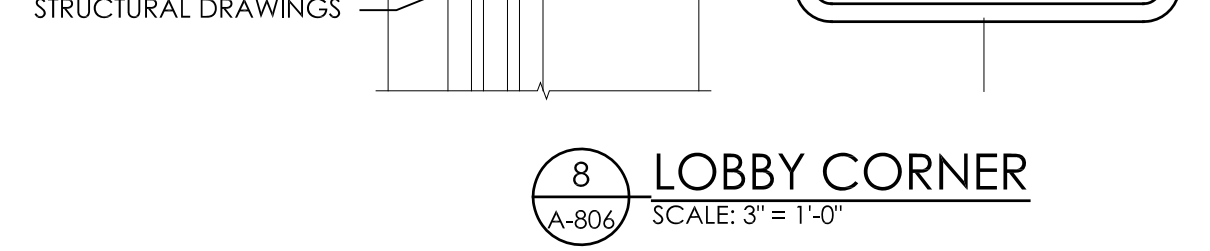
6 HORIZONTAL MULLION DETAIL  
A-806 SCALE: 3" = 1'-0"

RECESSED WALKOFF MAT  
ALUM. STOREFRONT FRAMING  
SHIM SPACE  
BACKER ROD & SEALANT  
PERFORMED 1/2" JOINT FILLER.



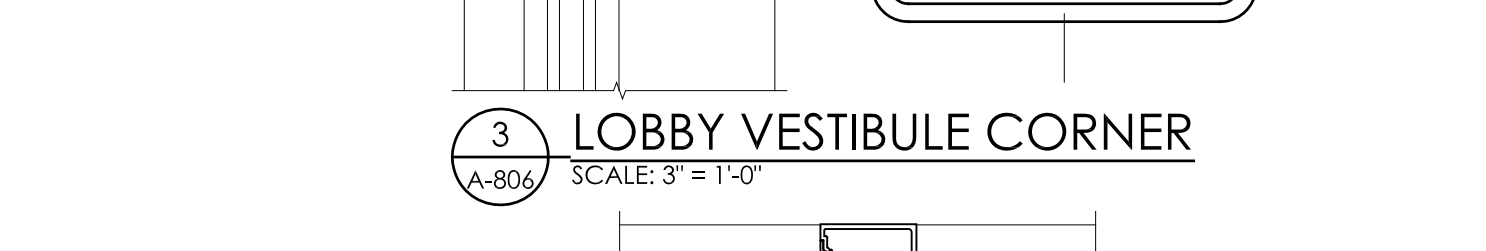
5 WINDOW SILL DETAIL  
A-806 SCALE: 3" = 1'-0"

ALUM BRAKE METAL CLOSURE  
2" INSULATION, VAPOR RETARDER, 1/2" GLASS MAT GYP BOARD, 3/8" MTL STUDS WITH 2 3/8" CLOSED CELL SPRAY FOAM INSULATION.  
ALUM STOREFRONT FRAMING  
STL COLUMN PER STRUCTURAL DRAWINGS



8 LOBBY CORNER  
A-806 SCALE: 3" = 1'-0"

DOUBLE GLAZING  
ALUM STOREFRONT FRAMING  
ALUM BRAKE METAL CLOSURE  
ALUM STOREFRONT FRAMING  
STL COLUMN PER STRUCTURAL DRAWINGS



3 LOBBY VESTIBULE CORNER  
A-806 SCALE: 3" = 1'-0"

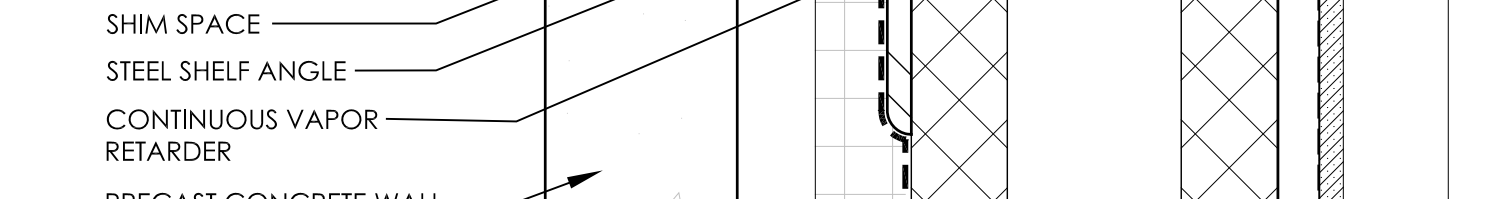
ALUM. STOREFRONT FRAMING

4 LOBBY VERTICAL MULLION  
A-806 SCALE: 3" = 1'-0"

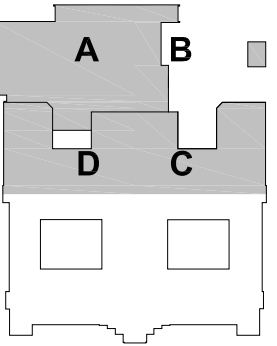
PRECAST PANEL  
THRUWALL FLASHING WITH DRIP EDGE  
ALUM. STOREFRONT FRAMING

2 WINDOW HEAD DETAIL  
A-806 SCALE: 3" = 1'-0"

ALUM. STOREFRONT FRAMING  
BACKER ROD & SEALANT  
SHIM SPACE  
STEEL SHELF ANGLE  
CONTINUOUS VAPOR RETARDER  
PRECAST CONCRETE WALL PANEL



1 WINDOW SILL DETAIL  
A-806 SCALE: 3" = 1'-0"



KEY PLAN

RCSD  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

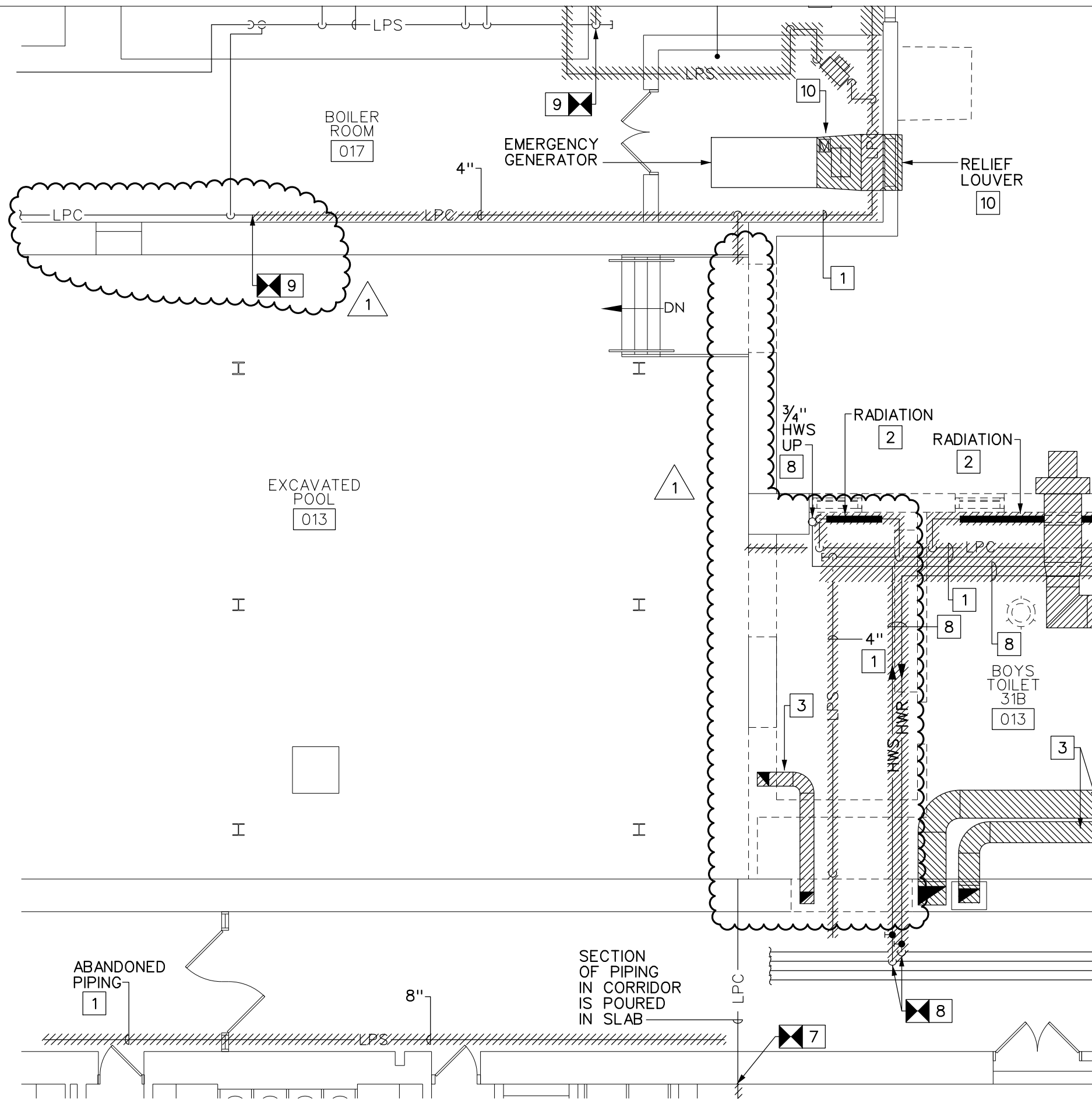
REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/18/17

JOB NO.	1625
SCALE	1/8" = 1'-0"
ISSUE DATE	06/30/17
DRAWN BY	ETG
CHECKED BY	CJ

THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

WINDOW DETAILS

A-806



**GENERAL NOTES:**

- A. THIS SKETCH IDENTIFIES THE DEMOLITION REVISIONS TO THE BOILER ROOM 017, EXCAVATED POOL 013 AND BOYS TOILET 31B STORAGE.
- B. REFER TO DRAWING MD-100.1 FOR DEMOLITION NOTES.

**1** BASEMENT LEVEL DEMOLITION PLAN AREA C  
 MD100.1 SCALE: 1/8" = 1'-0"

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Rochester City School District  
 James Monroe High School  
 164 Alexander Street  
 Rochester, New York  
 SED #: 26-16-00-01-0-107-029  
 DWT #: 26-16-00-01-7-999-019

PROJECT:	RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B
DRAWING TITLE:	BASEMENT DEMOLITION REVISIONS
PROJECT NO.:	1625
DRAWN BY:	AJM
SCALE:	AS NOTED
ISSUE DATE:	6/30/17
REVISION DATE:	7/13/17

DRAWING REFERENCE NUMBER(S):  
**MD-100.1**  
 DRAWING NUMBER:  
**AD1-M01**

## RADIANT FLOOR SYSTEM SCHEDULE

SYSTEM NO.	AREA SERVED	AREA (SQ. Ft.)	MBH	TUBE SIZE (IN)	MAX SPACING (IN)	NO. OF CIRCUITS	CIRCUIT LENGTH	EWT (DEG. F)	LWT (DEG. F)	GPM	P.D. (Ft. HD)	MANUFACTURER & MODEL No.
RADIANT FLOOR SLAB ZONE #1	LOBBY A113	1,830	43.1	5/8	12	4	500	105	85	4.7	10.4	WATTS RADIANTPEX+
RADIANT FLOOR SLAB ZONE #2	LOBBY A113	1,830	43.1	5/8	12	4	500	105	85	4.7	10.4	WATTS RADIANTPEX+

DRAWING REFERENCE NUMBER(S):  
**M-800.2**

DRAWING NUMBER:

**AD1-M02**

PROJECT: **RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B**

DRAWING TITLE:

**RADIANT FLOOR SYSTEM SCHEDULE**

PROJECT NO:

1625

DRAWN BY:

AJM

SCALE:

AS NOTED

ISSUE DATE:

6/30/17

REVISION DATE:

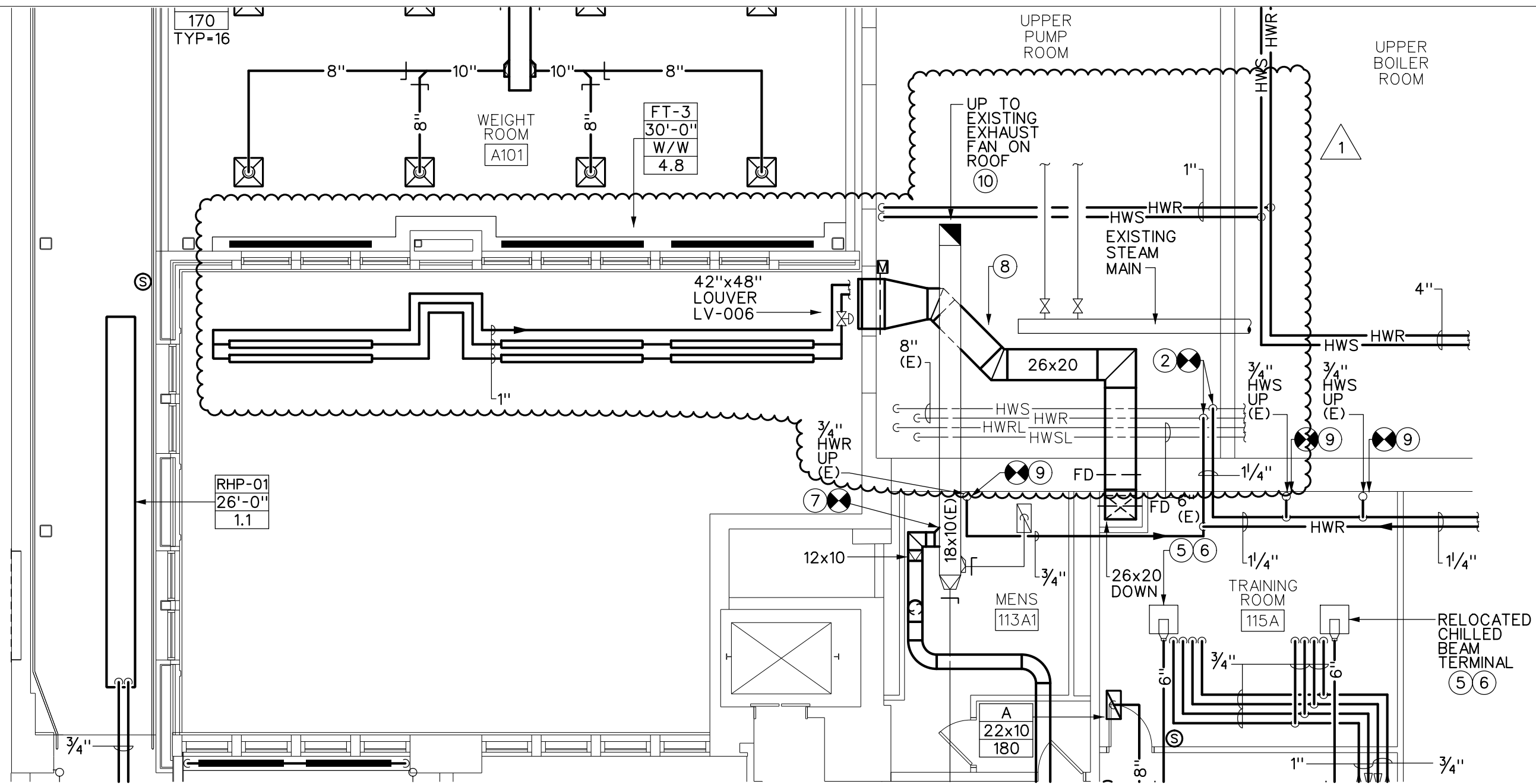
7/13/17

Rochester City School District  
James Monroe High School  
164 Alexander Street  
Rochester, New York

SED #: 26-16-00-01-0-107-029  
DWT #: 26-16-00-01-7-999-019

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**1** FIRST LEVEL FLOOR PLAN AREA D  
 M101.4 SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- A. THE PURPOSE OF THIS SKETCH IS TO PROVIDE THE FOLLOWING REVISIONS:
1. RE- BALANCING OF THE EXISTING ROOF MOUNTED TOILET EXHAUST FAN.
  2. REVISIONS TO THE RADIATION IN WEIGHT ROOM A101.
  3. REVISIONS TO LOUVER LV-006 AND ASSOCIATED DUCTWORK.
  4. REVISIONS TO THE 1 1/4" HWS/R PIPING TIE INS LOCATED IN THE UPPER PUMP ROOM.
- B. REFER TO DRAWING M-101.4 FOR ADDITIONAL DRAWING NOTES.

**DRAWING NOTES:**

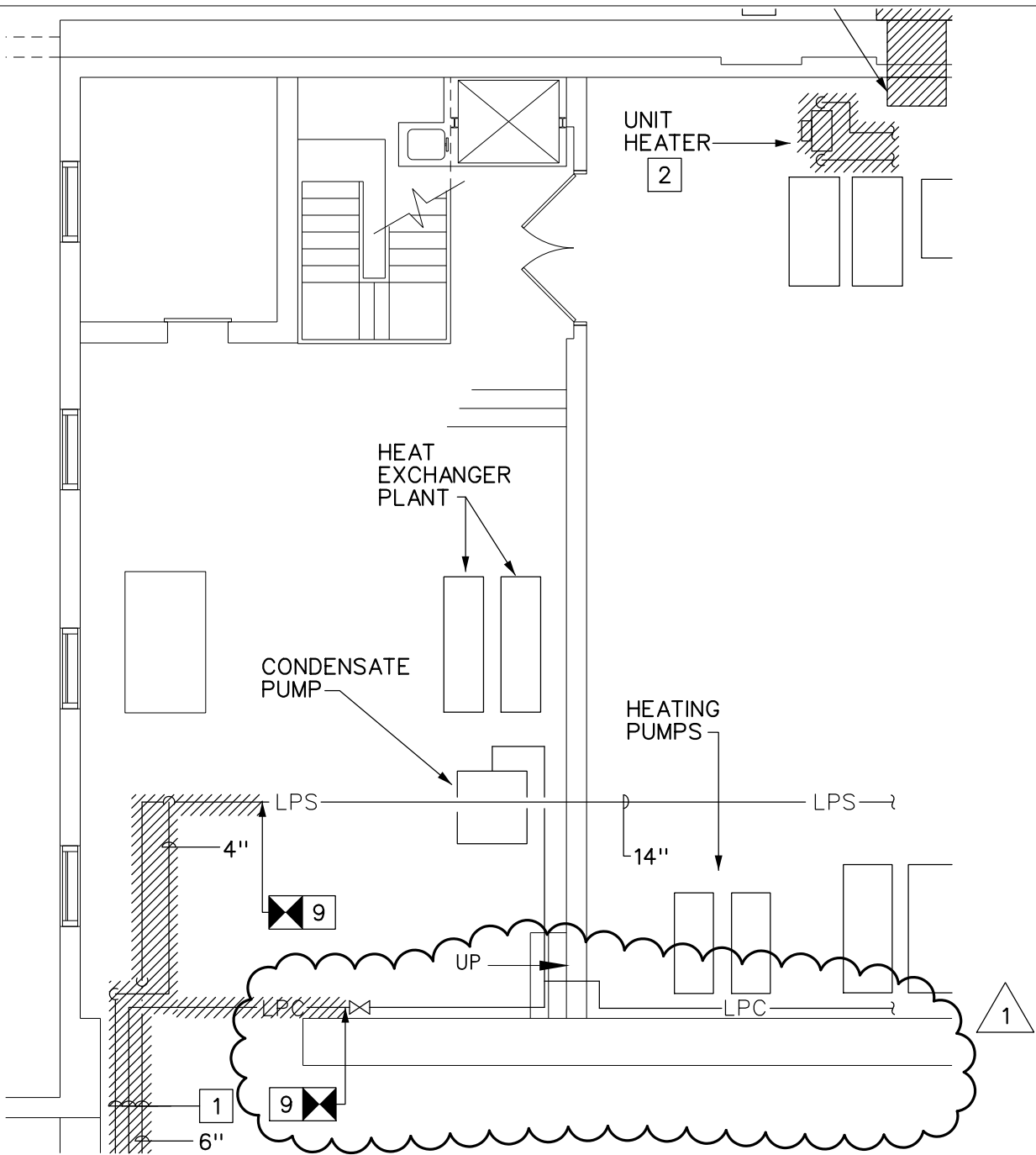
- 10** BALANCE THE EXISTING ROOF MOUNTED EXHAUST FAN TO 1,165 CFM AT 0.4" ESP. ADJUST EXISTING ECM CONTROLLER AS REQUIRED TO ACHIEVE NEW AIRFLOW.

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 SED #: 26-16-00-01-0-107-029  
 DWT #: 26-16-00-01-7-999-019

PROJECT:	RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B
DRAWING TITLE:	FIRST FLOOR AREA D REVISIONS
PROJECT NO.:	1625
DRAWN BY:	AJM
SCALE:	AS NOTED
ISSUE DATE:	6/30/17
REVISION DATE:	7/13/17

DRAWING REFERENCE NUMBER(S):  
**M-101.4**  
 DRAWING NUMBER:  
**AD1-M03**



**1 BASEMENT LEVEL DEMOLITION PLAN AREA D**

MD100.2 SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- A. THIS SKETCH REVISES THE CONDENSATE PIPING DEMOLITION IN THE BOILER ROOM AND THE PUMP ROOM.

DRAWING REFERENCE NUMBER(S): <b>MD-100.2</b>
DRAWING NUMBER: <b>AD1-M04</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>BASEMENT AREA D DEMOLITION REVISIONS</b>				
PROJECT NO: <b>1625</b>	DRAWN BY: <b>AJM</b>	SCALE: <b>AS NOTED</b>	ISSUE DATE: <b>6/30/17</b>	REVISION DATE: <b>7/13/17</b>

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REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/13/17

JOB NO. 1625

SCALE AS NOTED

ISSUE DATE 06/30/17

DRAWN BY NMJ

CHECKED BY AJM

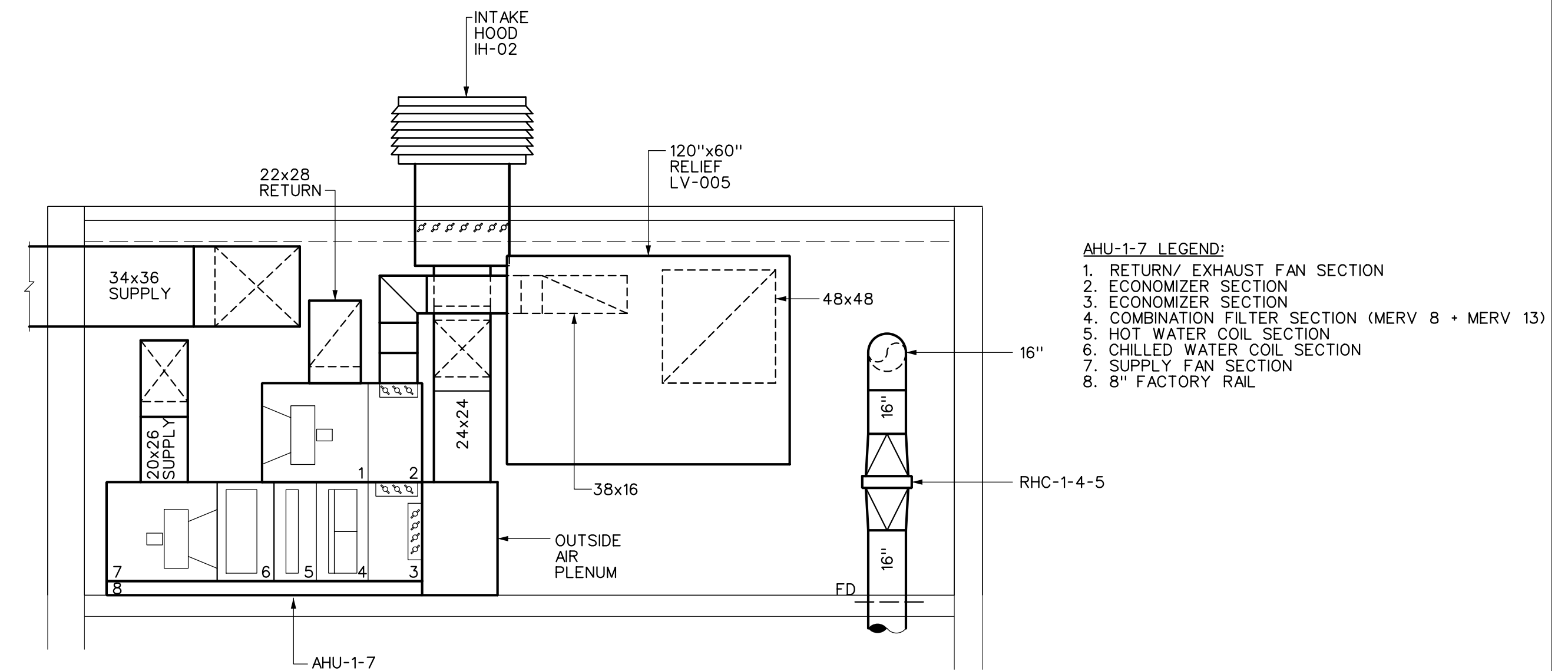
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DRAWING TITLE

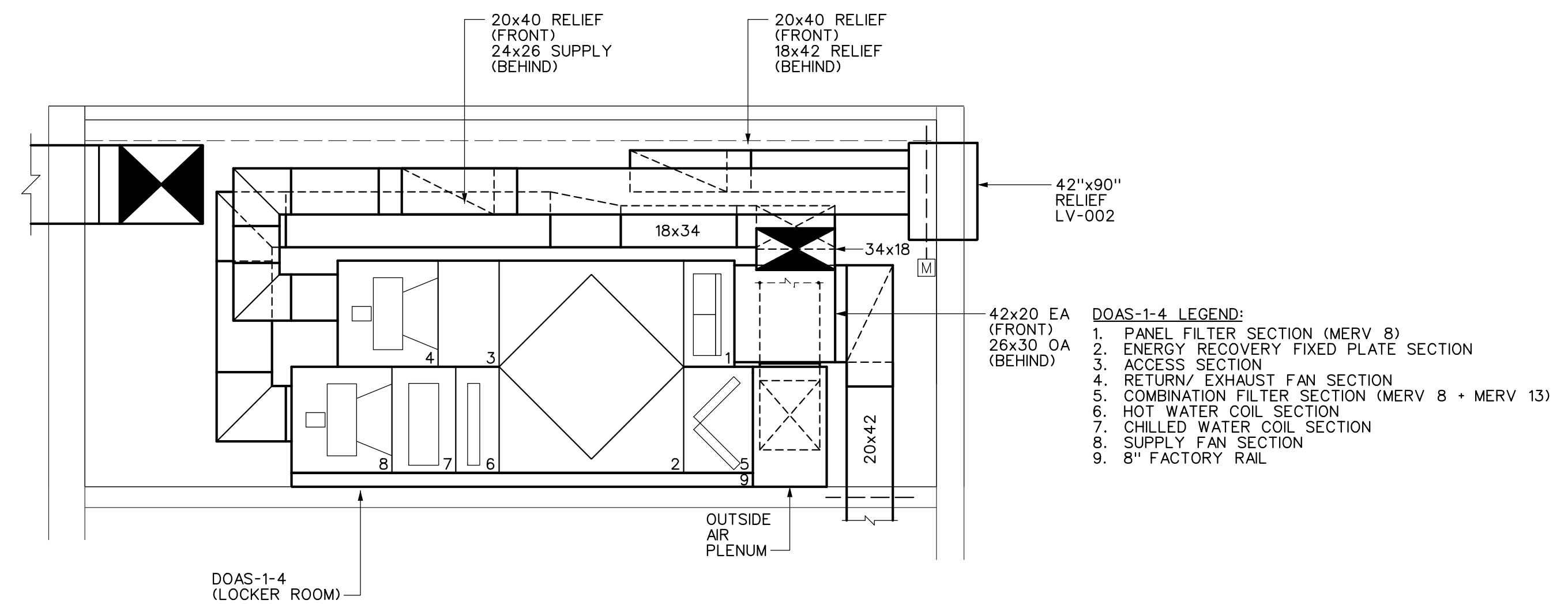
**MECHANICAL ROOM SECTIONS**

**M-600.3**

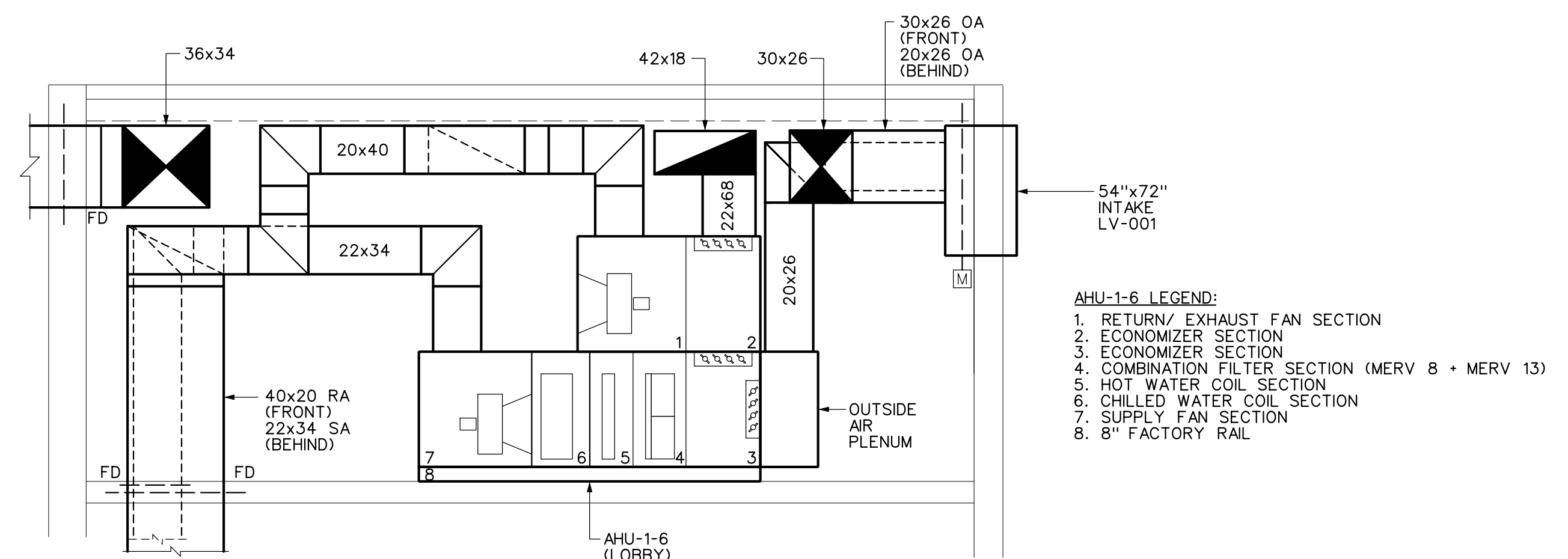
BID SET



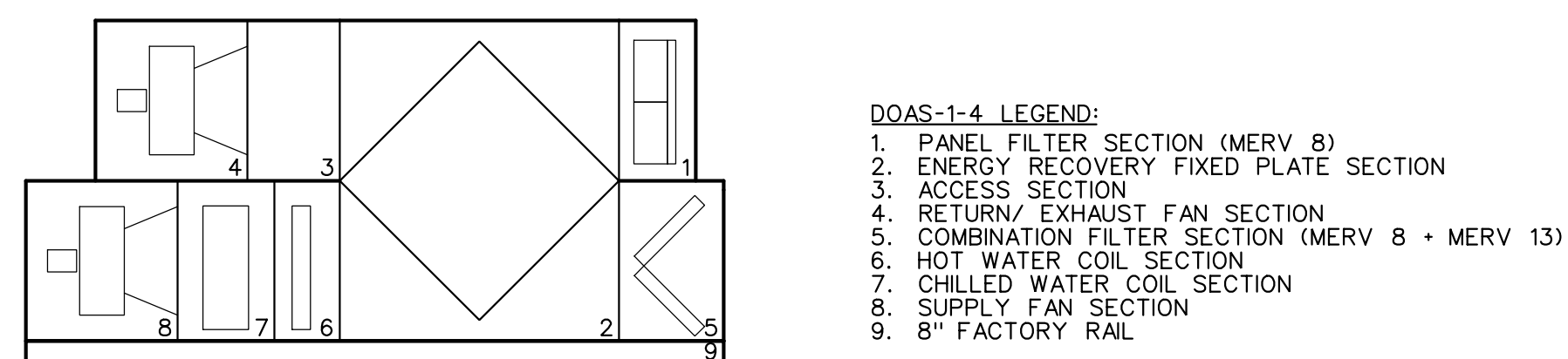
3 PENTHOUSE SECTION - AREA A  
SCALE: 1/4" = 1'-0"



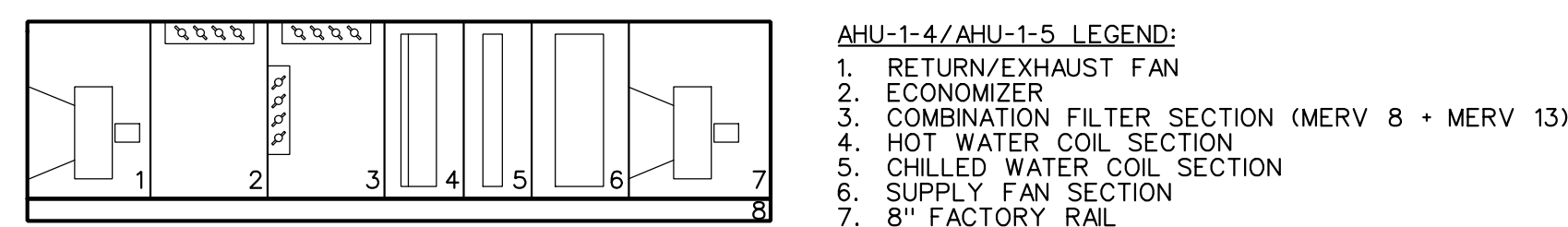
2 PENTHOUSE SECTION - AREA A  
SCALE: 1/4" = 1'-0"



1 PENTHOUSE SECTION - AREA A  
SCALE: 1/4" = 1'-0"



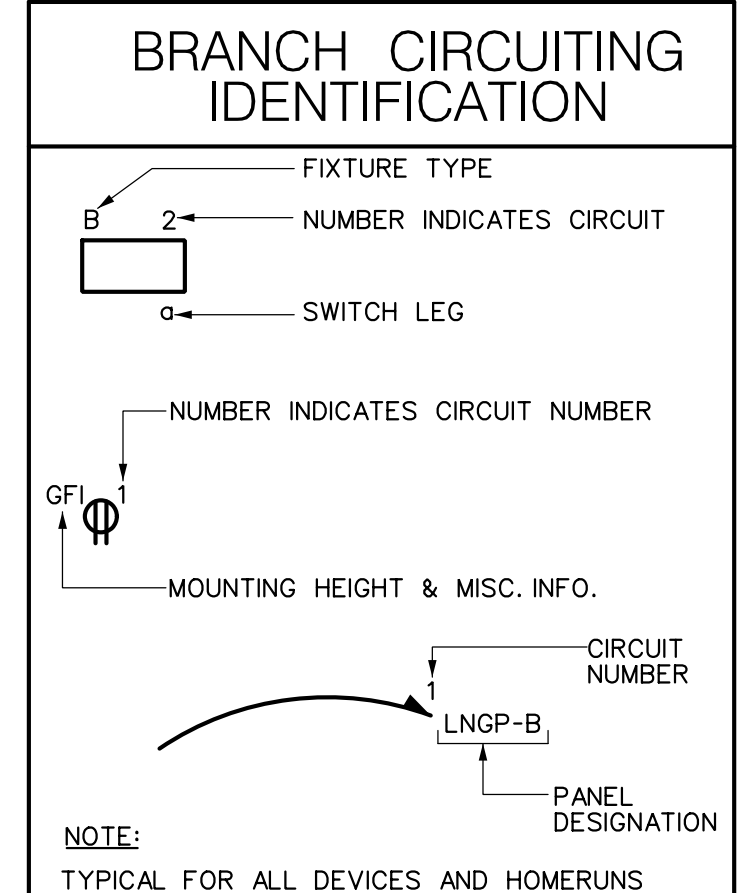
5 DOAS-B-2 ELEVATION VIEW DETAIL  
SCALE: 1/4" = 1'-0"



4 AHU-1-4 & AHU-1-5 ELEVATION VIEW DETAIL  
SCALE: 1/4" = 1'-0"

ABBREVIATIONS	
ABBREV.	DESCRIPTION
A.F.F.	ABOVE FINISHED FLOOR
A.	AMPERE
AUTO.	AUTOMATIC
BSMT.	BASEMENT
BKR.	BREAKER
CLG.	CEILING
CONTR.	CLOSED CIRCUIT TELEVISION
CTV.	CONTRACTOR
CONT.	CONTRACTOR
C.	CONDUIT
DP.	DISTRIBUTION PANEL
DN.	DOWN
E.A.	EACH
E.C.	ELECTRICAL CONTRACTOR
ELEC.	ELECTRIC
EMERG.	EMERGENCY
EM.	EMERGENCY
E.W.C.	ELECTRIC WATER COOLER
EXIST.	EXISTING
F.A.	FIRE ALARM
F.A.C.P.	FIRE ALARM CONTROL PANEL
F.A.T.C.	FIRE ALARM TERMINAL CABINET
FZ (3).	FIRE ZONE (3)
GRS.	GALVANIZED RIGID STEEL
GND.	GROUND
G.C.	GENERAL CONTRACTOR
GEN.	GENERATOR
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
H.V.A.C.	HEATING, VENTILATING AND AIR CONDITIONING CONTRACTOR
HP.	HORSEPOWER
KW.	KILOWATT
LP.	LIGHTING PANEL
LG.	LIGHTING
M.C.B.	MAIN CIRCUIT BREAKER
M.L.O.	MAN LUG ONLY
MCRO.	MICROWAVE
NL.	NIGHT LIGHT
PANEL.	PANEL
PH.	PHASE
P.C.	PLUMBING CONTRACTOR
PP.	POWER PANEL
PV.	POWER VENTILATOR
P.	POLE
REFRIG.	REFRIGERATOR
SZ (2).	SECURITY ZONE (2)
SP.	SPACE
SPEC.	SPECIFICATION
SW.	SWITCH
TV.	TELEVISION
T.B.B.	TELEPHONE BACKBOARD
T.T.C.	TELEPHONE TERMINAL CABINET
TYP.	TYPICAL
U.L.	UNDERWRITER'S LABORATORY
V.	VOLT
W.P.	WEATHERPROOF
WG.	WIRE GUARD
W.	WIRE
3P, 1P	3 - POLE 1 - AMPERE
B.C.	MOUNTED BELOW COUNTER HEIGHT
OC	MOUNTED OVER COUNTER HEIGHT
UC	MOUNTED UNDER COUNTER HEIGHT
GFI	GROUND FAULT INTERRUPTER
AC	MOUNTED ABOVE COUNTER HEIGHT

LUMINAIRES	
SYMBOL	DESCRIPTION
FA □ ○	CEILING MOUNTED LUMINAIRE, UPPER CASE LETTERS INDICATE FIXTURE TYPE ON SCHEDULE, LOWER CASE LETTER INDICATES SWITCHING DESIGNATION.
FA □ ○	WALL MOUNTED LUMINAIRE, UPPER CASE LETTERS INDICATE FIXTURE TYPE ON SCHEDULE, LOWER CASE LETTER INDICATES SWITCHING DESIGNATION.
□	CONNECT LUMINAIRE TO EMERGENCY LIFE SAFETY CIRCUIT.
□	SUBSCRIPT INDICATES SWITCH LEG MONITORED BY ALCR TO CONTROL EMERGENCY LUMINAIRE(S)
□	FOR EXISTING FIXTURES, VERIFY SWITCH LEG AND BALLAST CONFIGURATION IN FIELD. PROVIDE ADDITIONAL BALLAST WHERE REQUIRED. PROVIDE ADDITIONAL BRANCH CIRCUITING TO EXTEND AND RECONNECT EXISTING ADJACENT MAINTAINED NORMAL LIGHTING.
□	LUMINAIRE CONNECTED TO NIGHT LIGHT CIRCUIT
—	FLOURESCENT STRIP
□	POLE MOUNTED SITE LUMINAIRE
□	FIRE ALARM CONTROL EXIT LUMINAIRE
□	WALL MOUNTED EXIT LUMINAIRE
□	CEILING MOUNTED RESCUE ASSISTANCE STATION LUMINAIRE
□	EMERGENCY BATTERY PACK, SUBSCRIPT INDICATES MOUNTING: c - CEILING
□	COMBINATION CEILING MOUNTED EXIT LUMINAIRE AND EMERGENCY BATTERY PACK
□	PROVIDE U.L. LISTED, PLENUM RATED, AUTOMATIC LOAD CONTROL, RELAY (ALCR) TO MONITOR LOCAL LIGHTING CONTROL DEVICES(S) AND CONTROL OPERATION OF EMERGENCY LUMINAIRE(S) WITHIN THE SPACE SHOWN, UPON ANY LOSS OF POWER THE CONTROL DEVICES(S) SHALL BE AUTOMATICALLY BYPASSED AND THE EMERGENCY LIGHT FIXTURE SHALL BE FORCED ON. LOCATE ALCR WITHIN 2- FEET OF NEAREST EMERGENCY LUMINAIRE.
□	ALL TOILET ROOMS AND ROOMS WITH ONE (1) FIXTURE THAT IS DESIGNATED AS "EM" (EMERGENCY) WITH AN ALCR DEVICE SHALL BE A BODINE GTO20A OR EQUAL DUAL LITE TYPE.
□	SUBSCRIPT INDICATES SWITCH LEG MONITORED BY ALCR TO CONTROL EMERGENCY LUMINAIRE(S)



ELECTRICAL SYMBOL LIST	
SYMBOL	DESCRIPTION
<b>BASIC MATERIALS and METHODS</b>	
LP-404	HOME RUN TO PANELBOARD, LETTERS/NUMBERS INDICATE PANEL, NUMBER INDICATES QUANTITY OF ARROWS EQUALS QUANTITY OF CIRCUITS. CIRCUITS SHALL BE AMP, 120 VOLT, 1PH, 1W, E.G., N 1/2" C, UNLESS NOTED OTHERWISE, BRANCH CIRCUITING SHALL BE 1/2" C UNLESS NOTED OTHERWISE. HOMERUN REFER TO SPECS FOR RACEWAY TYPE, PROVIDE DEDICATED NEUTRALS FOR COMPUTER GXTS.
◡	SOLID HALF ARROWS INDICATES 120 VOLT HOMERUN TO SINGLE POLE CIRCUIT BREAKER(S), UNLESS NOTED OTHERWISE.
◡	SOLID FULL ARROWS INDICATES 208 VOLT HOMERUN TO MULTI-POLE CIRCUIT BREAKER, UNLESS NOTED OTHERWISE.
—	MULTI-COMPARTMENT SURFACE RACEWAY
—	POWER SURFACE RACEWAY
○	JUNCTION BOX
S <sub>1</sub> , S <sub>2</sub> , S <sub>3</sub>	TOGGLE SWITCH, SUBSCRIPTS INDICATE TYPE: 3 - TWO POLE SWITCH 4 - FOUR WAY SWITCH K - KEY OPERATED ET - ELASSED TIMER PL - PILOT LIGHT
□	SWITCHING DESIGNATIONS NUMBER OF LETTERS EQUALS NO. OF GANGED SWITCHES TO - ROTARY SWITCH TO - CEILING FAN M - MOMENTARY SWITCH OP - WALL MOUNTED OCCUPANCY SENSOR SWITCH V - WALL MOUNTED VACUANCY SENSOR
□	DIMMER LED TYPE, PROVIDE ALL LOW-VOLTAGE 0-10V WIRING FROM DIMMER TO LUMINAIRES
□	DUPLEX RECEPTACLE, 20 AMP, 125 VOLT SUBSCRIPTS INDICATE TYPE: CR - CORROSION RESISTANT TP - TAMPER RESISTANT IG - ISOLATED GROUND OC - OVER THE COUNTER UC - UNDER THE COUNTER GT - GROUND FAULT INTERRUPTING TYPE R - RECESSED RECEPTACLE s - SURFACE MOUNTED RECEPTACLE c - CEILING MOUNTED RECEPTACLE GD - GARBAGE DISPOSAL AND STARTER DF, EWG - ELECTRIC WATER COOLER, PROVIDE WITH GFI DUPLEX RECEPTACLE REF - REFRIGERATOR WP - WEATHERPROOF XP - EXPLOSION PROOF
□	DOUBLE DUPLEX RECEPTACLE - 20 AMP, 125 VOLT
□	20 AMP, 125 VOLT ISOLATED GROUND DUPLEX RECEPTACLE
□	SPECIAL PURPOSE RECEPTACLE, PROVIDE PROPER VOLTAGE, CLASS, CURRENT RATING AND NEMA CONFIGURATION AS REQUIRED BY BRANCH CIRCUIT AND/OR MATCH CAP ON EQUIPMENT BEING FURNISHED BY OTHERS. PROVIDE GROUND AND PLUG SUBSCRIPTS INDICATE TYPE: H - HALLWAY RECEPTACLE - NEMA 6-20R RANGE - 50A/2P RECEPTACLE (COORDINATE WITH EQUIPMENT) DRYER - 30A/2P RECEPTACLE (COORDINATE WITH EQUIPMENT)
□	FLUSH POKE-THROUGH SERVICE FITTING WITH DUPLEX RECEPTACLE AND COMMUNICATIONS DEVICES AS CALLED FOR. (B) SUBSCRIPT INDICATES IF POKE-THROUGH
□	SINGLE RECEPTACLE - 20 AMP, 125 VOLT
□	DUPLEX RECEPTACLE PEDESTAL
□	CEILING MOUNTED OCCUPANCY SENSOR, SUBSCRIPTS INDICATE TYPE, PROVIDE POWER PACK AND RELAYS TO INTERFACE WITH BDC ENERGY MANAGEMENT SYSTEM AND CONTROL EMERGENCY LIGHTING, FOR ALL TYPE OCCUPANCY SENSORS, ALL SENSORS ARE DUAL TECHNOLOGY TYPE, BOTH ULTRASONIC AND INFRARED.
□	"W" - WIDE VIEW DUAL TECH. 110" 55" x 38" "U" - ULTRASONIC 24" x 40" "H" - EMERGENCY LIGHTING CIRCUIT AND BDC SYSTEM ONLY
□	WALL MOUNTED OCCUPANCY SENSOR
---	EXISTING ELECTRICAL OR EQUIPMENT OR DEVICE, DASHED LIGHT IS EXISTING TO BE REMOVED, UNLESS NOTED OTHERWISE
□	EXISTING WIRING OR EQUIPMENT, SOLID LIGHT IS EXISTING TO REMAIN OR EXISTING TO BE RELOCATED.
□	HEAVY SOLID IS NEW
(R)	REPLACE EXISTING DEVICE OR PIECE OF EQUIPMENT, DISCONNECT AND REMOVE EXISTING AND PROVIDE NEW.
(E)	EXISTING TO REMAIN, INDICATES EXISTING ITEM SHALL REMAIN, MAINTAIN EXISTING ELECTRICAL CONNECTIONS UNLESS OTHERWISE NOTED.
(ER)	EXISTING TO BE RELOCATED - INDICATES EXISTING ITEM SHALL BE RELOCATED, DISCONNECT AND REMOVE, REINSTALL AT NEW LOCATION AND RECONNECT ITEM AS REQUIRED.
③	REFERENCE TO DRAWING NOTE
③	REFERENCE TO DEMOLITION NOTE
□	EMERGENCY SHUTDOWN SWITCHES, SUBSCRIPTS INDICATE MOUNTING OFF EG - GENERATOR SHUTDOWN, RESET - KEY RESET
□	ALARM HORN
□	120 VOLT CLOCK, 12" DIAL UNLESS NOTED OTHERWISE, CONNECTED TO BUILDING MASTER CLOCK.
□	CORD REEL, SUBSCRIPT "LIGHT" INDICATES LIGHT ONLY, REFER TO SPECIFICATIONS FOR TYPE.
□	SO CORD DROP TO DUPLEX RECEPTACLE
□	HAND DRYER - REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
□	PHOTOELECTRIC CONTROL
□	TIME CLOCK
□	GENERATOR ANNUNCIATOR PANEL
□	CEILING FAN
□	CEILING MOUNTED VACUANCY SENSOR, DUAL TECHNOLOGY

FIRE ALARM	
SYMBOL	DESCRIPTION
□	MANUAL PULL STATION
□	SMOKE DETECTOR SUBSCRIPT "WG" INDICATES WIRE GUARD
□	RATE OF RISE HEAT DETECTOR
1190	FIXED TEMPERATURE 190 DEG. HEAT DETECTOR
□	ALARM SIGNAL, AUDIBLE AND VISUAL, SUBSCRIPT INDICATES MOUNTING: c - CEILING
□	VISUAL SIGNAL DEVICE
□	AUDIBLE SIGNAL DEVICE, SUBSCRIPT INDICATES MOUNTING: r - RECESSED
□	AUDIO/VISUAL DEVICE WITH BELL
□	MAGNETIC DOOR HOLDER, SUBSCRIPT INDICATES TYPE: INT - INTEGRAL WITH THE DOOR PROVIDE ALL REQUIRED WIRING AND CONDUIT TO REQUIRED LOCATION.
□	FIRE ALARM CONTROL PANEL
□	FIRE ALARM ANNUNCIATION PANEL
□	DUCT SMOKE DETECTOR, SUPPLY SIDE
□	DUCT SMOKE DETECTOR, RETURN SIDE
□	REMOTE RESCUE ASSISTANCE STATION
□	MASTER RESCUE ASSISTANCE STATION
□	FAN SHUTDOWN
□	SMOKE DAMPER, PROVIDE 120V EM. CIRCUIT.
□	TAMPER SWITCH
□	FLOW SWITCH
□	MONITORING MODULE
□	PRESSURE SWITCH
□	SMOKE HATCH, PROVIDE 120V CIRCUIT.
□	ELEVATOR CAPTURE
□	FIRE BARRIER, PROVIDE 120V EMERGENCY CIRCUIT
□	EMERGENCY VOICE EVACUATION SYSTEM, EMERGENCY COMMUNICATION CONTROL PANEL
□	TRANSPONDER PANEL
□	CARBON MONOXIDE DETECTOR
□	CARBON MONOXIDE NOTIFICATION APPLIANCE, AUDIBLE AND VISUAL * INDICATES STROBE CANDELA IF OTHER THAN 75
□	FIRE ALARM SYSTEM SPEAKER
□	FIRE ALARM SYSTEM SPEAKER, WALL MOUNTED

POWER DISTRIBUTION AND CONTROL	
SYMBOL	DESCRIPTION
□	TRANSFORMER, REFER TO ONE LINE DIAGRAM AND TRANSFORMER SCHEDULE FOR SIZE AND TYPE
□	208Y/120V PANELBOARD
□	480Y/277V PANELBOARD
□	DISTRIBUTION PANEL
□	MOTOR CONTROL CENTER
□	MOTOR STARTER, REFER TO ELECTRIC EQUIPMENT AND CONTROL SCHEDULE FOR SIZE AND TYPE.
□	DISCONNECT SWITCH AMP RATING AS INDICATED ON ELECTRIC EQUIPMENT AND CONTROL SCHEDULE
□	FUSED DISCONNECT SWITCH AMP RATING AS INDICATED ON ELECTRIC EQUIPMENT AND CONTROL SCHEDULE
□	COMBINATION FUSED DISCONNECT SWITCH AND MAGNETIC STARTER AMP RATING AS INDICATED ON ELECTRIC EQUIPMENT AND CONTROL SCHEDULE
VFD or VSS	VARIABLE FREQUENCY DRIVE
ATS	AUTOMATIC TRANSFER SWITCH
□	ELECTRICAL CONNECTION, REFER TO ELECTRIC EQUIPMENT AND CONTROL SCHEDULE FOR DESCRIPTION, LETTERS AND NUMBERS REFER TO "ITEM NAME" ON THE SCHEDULE.
□	SINGLE POINT ELECTRICAL CONNECTION
□	CONTACTOR
□	SHOP/KITCHEN EQUIPMENT CONNECTION: REFER TO SCHEDULE NUMBER/LETTER INDICATES ITEM ON SCHEDULE.

INTERCOM and PUBLIC ADDRESS	
SYMBOL	DESCRIPTION
□	CEILING MOUNTED SPEAKER CONNECTED TO BUILDING WIRE RAGING AND INTERCOM SYSTEM UNLESS NOTED OTHERWISE, PROVIDE AN ADDITIONAL 15-20 FEET OF TYPICAL WIRING TO ACCOMMODATE CLASSROOM AMPLIFICATION SYSTEM IN ROOM. REFER TO "TYPICAL CLASSROOM AMPLIFICATION LAYOUT" FOR ADDITIONAL WORK
□	WALL MOUNTED SPEAKER, SUBSCRIPTS INDICATE TYPE: WP - WEATHERPROOF HW - HORN TYPE
□	WALL MOUNTED SPEAKER HORN
□	WALL MOUNTED VOLUME CONTROL
□	PROGRAM BELL
□	P/A SYSTEM CALL BUTTON
□	MICROPHONE JACK

COMMUNICATIONS	
SYMBOL	DESCRIPTION
□	COMPUTER WORK STATION MOUNTED ON MULTI-COMPARTMENT RACEWAY.
□	TYPICAL COMPUTER WORK STATION - QUANTITY OF COMPUTER DATA OUTLETS AND CABLES, QUANTITY OF POWER 20 AMPERE SPECIFICATION GRADE DUPLEX RECEPTACLES, QUANTITY OF TELEPHONE OUTLETS AND CABLES AS CALLED FOR. REFER TO DETAIL ON DRAWINGS.
□	TELEPHONE STATION SET, LOWER CASE LETTER INDICATES TYPE REFER TO SPECIFICATIONS: b - VAP TELEPHONE HANSET PER SPECIFICATIONS c - DIGITAL SET WITH DISPLAY d - ANALOG SET WITH LED e - WALL TYPE SET # 48" AFF f - FACSIMILE MACHINE OUTLET g - MODEM OUTLET h - UTILITY OWNED EQUIPMENT
□	EXISTING TELEPHONE HANSET UNLESS OTHERWISE NOTED, REFER TO ABOVE AND PLANS FOR SUBSCRIPTS
□	TELEPHONE MAN DISTRIBUTION FRAME
□	DATA MAN DISTRIBUTION FRAME
□	TELEPHONE INTERMEDIATE DISTRIBUTION FRAME
□	DATA INTERMEDIATE DISTRIBUTION FRAME
□	VIDEO MAN DISTRIBUTION FRAME
□	POWER (P) / TELEPHONE (T) / DATA (D) POLE
□	WIRELESS ACCESS POINT (WAP) OUTLET AND CABLE FOR WIRELESS LAN, PROVIDE AN ADDITIONAL 20' OF CABLE AT LOCATION ON PLANS WITH MALE TERMINATION WAP#2 - SAME AS ABOVE EXCEPT TWO CABLES
□	THREE (3) - 1/2" FIRE RATED SLEEVES FOR TELECOMMUNICATION AND DATA CABLES

SECURITY	
SYMBOL	DESCRIPTION
□	MOTION DETECTOR
□	PROXIMITY READER, MINI-VANDAL
□	INTRUSION DETECTION CONTROL PANEL
□	PANEL WIDE COMMAND CENTER
□	KEYPAD
□	CCTV CAMERA
□	ACCESS CONTROL DOOR CONTROLLER
□	ELECTRIC DOOR STRIKE
□	INTERCOM STATION
□	INTERCOM MASTER STATION
□	INTRUSION DETECTION HORN
□	DOOR OPENER RECEIVER, HANDICAP DOOR, PROVIDE 120V CONNECTION.
□	DOOR OPENER TRANSMITTER, HANDICAP DOOR BATTERY OPERATED, PROVIDE CONTROL WIRING.
□	DOOR CONTACT
□	ELECTRIC LATCH RETRACTOR, AND ASSOCIATED POWER SUPPLY PROVIDED BY G.C. FINAL POWER CONNECTION TO MATCH EXISTING MATCH.
□	GROUND CONNECTION
□	FEEEDER DESIGNATION WHEN USED ON SINGLE LINE POWER DIAGRAM - REFER TO FEEDER SCHEDULE
□	PANELBOARD
□	TRANSFER SWITCH, RATING AS INDICATED, ATS - AUTOMATIC MTS - MANUAL

### GENERAL NOTES (APPLY TO ALL DRAWINGS)

A. ALL CONDUITS SHALL BE INSTALLED AS HIGH AS POSSIBLE ABOVE FINISHED CEILING AND CONCEALED IN WALLS UNLESS OTHERWISE INDICATED. ALL CONDUITS SHALL RUN PARALLEL AND PERPENDICULAR TO BUILDING WALLS AND STRUCTURE. CONDUITS CONCEALED IN WALLS SHALL BE INSTALLED VERTICALLY, HORIZONTAL RUNS OF CONDUIT SHALL NOT BE PERMITTED.

B. CONTRACTOR IS HERE BY CAUTIONED THAT ELECTRIC POWER CHARACTERISTICS (VOLTAGE, PHASE, HORSEPOWER, AMPERAGE, ETC.) OF EQUIPMENT IS BASED ON AVAILABLE INFORMATION AT THE TIME OF PROJECT DESIGN. CONTRACTOR MUST VERIFY CHARACTERISTICS FOR EACH PIECE OF NEW EQUIPMENT PRIOR TO ORDERING ELECTRICAL EQUIPMENT, INDICATE VERIFICATION ON SUBMITTALS.

C. LOCATIONS INDICATED FOR LIGHTING FIXTURES ARE APPROXIMATE. LOCATE FIXTURES AS REQUIRED TO AVOID INTERFERENCE WITH BUILDING STEEL, PIPING, DUCTWORK, CONDUIT, DIFFUSERS, GRILLES, SPEAKERS, SMOKE DETECTORS, ETC. FIELD COORDINATE EXACT LOCATIONS AS NEAR AS POSSIBLE TO THE LOCATION INDICATED.

D. EXACT LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, EXIT SIGNS, ETC. SHALL BE COORDINATED WITH OTHER CEILING MOUNTED EQUIPMENT AND CONDUITS AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. FIRE ALARM SMOKE AND HEAT DETECTORS SHALL BE LOCATED AT MINIMUM FROM HVAC DIFFUSERS, REGISTER GRILLES, ETC. SMOKE DETECTORS AT SMOKE DOORS MUST BE INSTALLED WITHIN 5'-0" OF THE DOORS (REFER TO NFPA 72E).

E. ALL NEW CIRCUITING SHALL BE CONCEALED (EXCEPT IN BOILER, ELECTRICAL, AND MECHANICAL ROOMS).

F. ALL FIRE ALARM VISUAL STROBE UNITS SHALL BE MOUNTED AT 8'-0" A.F.F. MAXIMUM PER A.D.A. REQUIREMENTS.

G. CONTRACTOR SHALL REVIEW ALL TRADES CONTRACT DOCUMENTS TO DETERMINE SPECIFIC MOUNTING LOCATIONS FOR ELECTRICAL EQUIPMENT. COORDINATE EXACT MOUNTING LOCATIONS WITH THE ARCHITECT AND OTHER CONTRACTORS. REFER TO ARCHITECTURAL PLANS FOR CASEWORK LAYOUT, ELEVATIONS, ETC. COORDINATE WITH LOCATIONS OF ELECTRICAL DEVICES AND OUTLETS.

H. EXACT LOCATION OF MECHANICAL AND PLUMBING EQUIPMENT THAT REQUIRE ELECTRICAL CONNECTIONS ARE SHOWN ON THE MECHANICAL AND PLUMBING DRAWINGS.

I. PROVIDE CONDUIT/WIRING (ROUTING) AND REQUIRED CONNECTIONS TO ALL DEVICES/ EQUIPMENT. CONNECT TO CIRCUITS) AS INDICATED.

J. CIRCUITING TO DEVICES/EQUIPMENT SHALL BE 2" X 1/2" WITH 1" X 1/2" GROUND MULTIPLE HOMERUNS IN SAME CONDUIT MAY SHARE SAME EQUIPMENT GROUNDS FOR EACH 20 AMPERE CIRCUIT UNLESS OTHERWISE NOTED. CIRCUITS FOR ISOLATED GROUND RECEPTACLES SHALL BE 1/2" WITH 1" X 1/2" SEPARATE ISOLATED EQUIPMENT GROUND FOR EACH 20 AMPERE CIRCUIT. ALL CIRCUITS SHALL NOT SHARE NEUTRALS. CIRCUITS SHALL NOT SHARE NEUTRALS.

K. WHERE DEPTH OF UNDERGROUND CONDUITS CAN NOT MEET DEPTH INDICATED TO BE SHALLOW ROCK, CONTRACTOR SHALL PROVIDE GRS CONDUITS) AND/OR CONCRETE ENCASEMENT TO MEET NEC CODE REQUIREMENTS FOR MINIMUM COVERAGE.

L. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE. WHERE CONDITIONS DIFFER FROM AS SHOWN, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.

M. WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTOR'S WORK, CONTRACTOR SHALL REPAIR AND/OR REPLACE WITH SIMILAR OR LIKE MATERIALS AS MUCH AS POSSIBLE, SUBJECT TO ENGINEER'S APPROVAL.

N. COORDINATE ALL WORK WITH OTHER TRADES; REFER TO ARCHITECTURAL DRAWINGS FOR COORDINATING LOCATIONS.

O. EXISTING BUILDING CONTAINS ASBESTOS IN CERTAIN AREAS. CONTRACTOR SHALL BE TRAINED AS REQUIRED BY OSHA STANDARD 1926.101. CONTRACTOR SHALL BE KNOWLEDGEABLE OF NYS DOL CODE RULE 56 AND THE BUILDING'S EPA AHERA REPORT PRIOR TO STARTING CONSTRUCTION. DO NOT DISTURB SUSPICIOUS MATERIAL.

P. PROVIDE ALL WORK IN ACCORDANCE WITH UTILITY REQUIREMENTS. PERFORM ALL SHUTDOWN AND CUT-OFF WORK ON PREMIUM TIME. COORDINATE WITH OCCUPANT AND PAY ALL UTILITY AND OWNER'S CUSTODIAL BACK CHARGES IF ANY.

Q. PROVIDE PRE-CONSTRUCTION TESTS FOR ALL SYSTEMS PRIOR TO STARTING WORK. COORDINATE WITH OWNER AND CENTRAL OFFICE OR MONITORING AGENCY REGARDING INTERRUPTIONS AND ALARMS.

R. DISCONNECT AND REMOVE EXISTING LUMINAIRES, EQUIPMENT DEVICES, SYSTEMS, RACEWAYS, FEEDERS, BRANCH CIRCUITING, CABLES, ETC. IN DEFINED "AREAS OF REMOVALS" UNLESS NOTED OTHERWISE, ALSO IN SPECIFIC LOCATIONS AS CALLED FOR. WHERE CONFLICTS OCCUR, THE FIELD SHALL BE GOVERNED. THE FIELD SHALL BE RESPONSIBLE FOR IDENTIFYING AREAS OF REMOVALS. REMOVE EXISTING LUMINAIRES, EQUIPMENT DEVICES, SYSTEMS, RACEWAYS, FEEDERS, BRANCH CIRCUITING, CABLES, ETC. IN DEFINED "AREAS OF REMOVALS" UNLESS NOTED OTHERWISE. PROVIDE PATCHING AND PAINTING TO MATCH SURROUNDING SURFACE UNLESS NOTED OTHERWISE.

S. PROVIDE WATCHING BRANCH CIRCUITING AND FEEDERS TO RELOCATE EQUIPMENT DEVICES, ETC. AND MAINTAIN FEED-THROUGH WIRING AND SYSTEMS TO REMAIN. PROVIDE CUTTING, PATCHING AND PAINTING TO MATCH SURROUNDING SURFACE UNLESS NOTED OTHERWISE.

T. PROVIDE STORAGE, CLEANING AND TESTING OF EQUIPMENT AND SYSTEMS TO BE RELOCATED.

U. SUBMIT LIST OF REMOVALS TO OWNER. TURN OVER SELECTED ITEMS TO OWNER. OBTAIN RECEIPT. LEGALLY DISPOSE OF REMAINING DEVICES.

V. PROVIDE SEGREGATED EMERGENCY POWER BRANCH CIRCUITING FROM EACH EMERGENCY LUMINAIRE TO NEAREST UNLOADED EMERGENCY CIRCUIT. WHERE EMERGENCY BATTERY LUMINAIRES ARE USED, PROVIDE BRANCH CIRCUITING TO NEAREST UNLOADED EMERGENCY CIRCUIT. PROVIDE SEGREGATED EMERGENCY POWER BRANCH CIRCUITING FROM EACH EXIT LUMINAIRE TO NEAREST UNLOADED EXIT LUMINAIRE CIRCUIT.

W. PROVIDE OCCUPANCY SENSOR TYPES WITH COVERS THAT MATCH SPECIFIC ROOM OF INSTALLATION.

X. PROVIDE INDIVIDUAL CATV BRANCH CIRCUITING FROM EACH CATV OUTLET THROUGH ELECTRICAL CLOSET BACK TO CATV MAN DISTRIBUTION FRAME.

Y. PROVIDE INDIVIDUAL CATV BRANCH CIRCUITING FROM EACH CATV OUTLET THROUGH ELECTRICAL CLOSET BACK TO CATV MAN DISTRIBUTION FRAME.

Z. PROVIDE INDIVIDUAL TELEPHONE / DATA RACEWAY FROM EACH TELEPHONE / DATA OUTLET TO ACCESSIBLE CEILING/FIRESAFE RATED PENETRATIONS.

AA. TELECOMMUNICATION SYSTEMS: PROVIDE CABLEING CALLED FOR FROM TMDF THROUGH LOCAL DDF TO EACH TELEPHONE OUTLET AND TERMINATE WITH PROPER CONNECTORS. LOCATE OUTLETS AS FIELD DIRECTED BY OWNER DURING SUBMITTAL PROCESS. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO LOCATION ADJUSTMENTS WITHIN ROOMS.

BB. DATA SYSTEMS: PROVIDE CABLEING CALLED FOR FROM DMDF THROUGH LOCAL DDF TO EACH DATA OUTLET AND TERMINATE WITH PROPER CONNECTORS. LOCATE OUTLETS AS FIELD DIRECTED BY OWNER DURING SUBMITTAL PROCESS. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO LOCATION ADJUSTMENTS WITHIN ROOMS.

CC. RISER DIAGRAMS ARE DIAGRAMMATIC ONLY. WIRE AND DEVICE QUANTITIES, SIZES, TYPES SHALL BE AS CALLED FOR IN CONTRACT DOCUMENTS, MANUFACTURERS RECOMMENDATIONS AND APPLICABLE CODES.

DD. PROVIDE THE FOLLOWING AS PART OF ALTERNATE WORK: REFER TO SPECIFICATIONS FOR ENTIRE DESCRIPTION.

EE. MAINTAIN FIRE ALARM SYSTEM COVERAGE THROUGHOUT ENTIRE CONSTRUCTION PERIOD. PROVIDE TEMPORARY COMPONENTS TO MODIFY SYSTEM DURING CONSTRUCTION. ONLY ONE FLOOR AT A TIME SHALL BE DEACTIVATED DURING CONSTRUCTION. COVERAGE SHALL BE MAINTAINED AFTER WORKING HOURS.

FF. ALL CONTRACTORS ARE TO REVIEW BUILDING AHERA AND LEAD PAINT REPORTS, AND ASSOCIATED SPECIFICATION SECTIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL COMPLY WITH ALL OSHA, EPA, ETC. REGULATIONS AND SHALL USE SAFE WORK PRACTICES AS DELINEATED BY HUD GUIDELINES, REGARDING DISTURBANCE OF LEAD PAINT, DURING RENOVATIONS.

GG. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AS INDICATED UNLESS NOTED TO REMAIN OR TO BE RELOCATED WITHIN THE PROJECT AREA. DISCONNECT AND REMOVE ALL ASSOCIATED BRANCH CIRCUIT AND SPECIAL SYSTEMS WIRING AND RACEWAYS, WHERE EXISTING DEVICES ARE NOT BEING REUSED. THEY AND ASSOCIATED WIRING AND RACEWAYS SHALL BE COMPLETELY REMOVED. DISCONNECT AND REMOVE ALL EMPTY AND ABANDONED RACEWAYS. CUT FLUSH WITH FLOOR WHERE APPLICABLE AND FILL WITH GROUT.

HH. PARTIAL BRANCH CIRCUIT WIRING DENOTING EXISTING CIRCUITING OR CONTROL IS SHOWN FOR REFERENCE ONLY, AND IS NOT INTENDED TO ILLUSTRATE COMPLETE WIRING SYSTEM. FIELD VERIFY EXISTING WIRING AND CONNECTIONS.

II. PLUG ALL UNUSED HOLES IN JUNCTION BOXES RESULTING FROM EQUIPMENT REMOVAL.

JJ. PROVIDE ALL LABOR AND MATERIAL AS REQUIRED TO RE-SUPPORT EXISTING CONDUITS THAT ARE TO REMAIN THAT ARE LOCATED ABOVE ALL CEILING BEING REMOVED. ATTACH THESE EXISTING CONDUITS TO BUILDING STRUCTURE AS REQUIRED.

KK. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION AND/OR OTHER WASTE MATERIALS CAUSED BY CONSTRUCTION OFF SITE IN PROPER LEGAL MANNER.

LL. SLEEVE AND SEAL ALL WALL AND FLOOR PENETRATIONS. PROVIDE APPROPRIATE FIRE STOPPING FOR ALL PENETRATIONS.

MM. COORDINATE EXACT LOCATION OF ALL CONDUIT ROUTES, EQUIPMENT AND DEVICES WITH OTHER TRADES.

NN. COORDINATE AND SCHEDULE WORK AND SHUT DOWNS WITH OWNER AND OTHER TRADES PRIOR TO CONSTRUCTION.

OO. MAINTAIN SERVICE CLEARANCES OF ALL EQUIPMENT. ADVISE OTHER TRADES OF SERVICE CLEARANCES AND ENSURE NO SERVICES OR TRADES RUN THROUGH SERVICE AREA.

PP. ALL CONDUIT TO BE REMOVED AND LOCATED WITHIN A WALL TO REMAIN MAY BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE. REMOVE CONDUIT BACK TO BEHIND THE FINISHED WALL SURFACE AND PLUG OR CAP.

QQ. PLUG HOLES IN EXISTING CONSTRUCTION LEFT BY THE REMOVAL OF CONDUIT OR EQUIPMENT. MAINTAIN FIRE/SMOKE RATING.

RR. REVISE ALL EXISTING PANELBOARD SCHEDULES.

SS. PHASED PROJECT - CONTRACTOR TO SCHEDULE AND COORDINATE ALL WORK TO PROJECT PHASING PLAN, REFER TO ARCHITECTURAL PLANS FOR KEY PHASING PLANS.

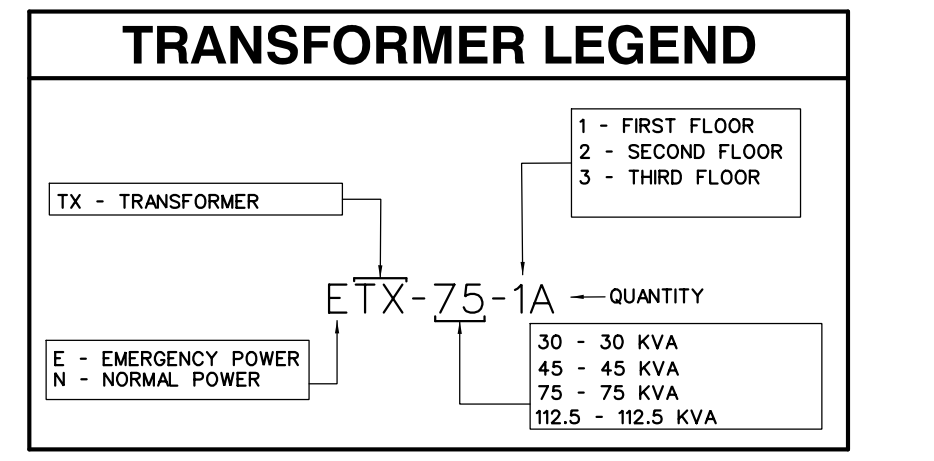
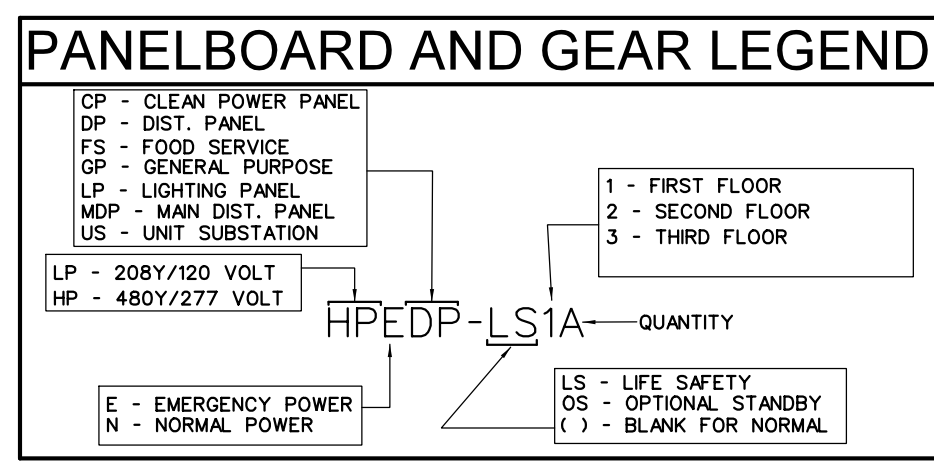
TT. PROVIDE ALL CUTTING AND PATCHING AS FOLLOWS:

UU. EXTERIOR OPENING - INFILL OPENING WITH FACE BRICK AND MORTAR TO MATCH EXISTING AT EXTERIOR AND CMU WITH

1. PLASTER TO MATCH EXISTING AT INTERIOR. PROVIDE 2" RIGID INSULATION IN CAVITY OF INFILL.
2. 2 HOUR SHAFT OPENING - INFILL OPENING WITH 6" CMU AND PLASTER ON ROOM SIDE TO MATCH EXISTING ADJACENT
3. PLASTER WALL INFILL TO HAVE 2 HOUR FIRE RATING IN ACCORDANCE WITH NMA TEX 5-8, A01216/11/MS 216.
4. EXISTING ADJACENT WALL INFILL - SEAL TO FLOOR PENETRATION BY INFILL OPENING WITH 4" THOMPSON PANEL (MANUFACTURED BY USO) OR EQUAL AND MECHANICALLY ATTACHING 5/8" FIRE RATED SEALANT. (2 HOUR RATED). 1 HOUR CORRIDOR OPENING - INFILL OPENING WITH USO OR EQUAL AND MECHANICALLY ATTACHING 5/8" FIRE RATED SEALANT. (2 HOUR RATED).

WW. NOTE: "TECHNOLOGY INTEGRATOR" IS EQUIVALENT TO "DISTRICT WIDE TECHNOLOGY CONTRACTOR".

XX. COORDINATE ALL WALL RECEPTACLE AND DATA OUTLETS/DEVICES WITH FURNITURE PLANS, A-SERIES PLANS PRIOR TO INSTALLATION.



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### KEY PLAN

### RCS D James Monroe High School Rochester Schools Modernization Program Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT #: 26-16-00-01-7-999-019

164 Alexander Street  
Rochester NY, 14607

REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/13/17

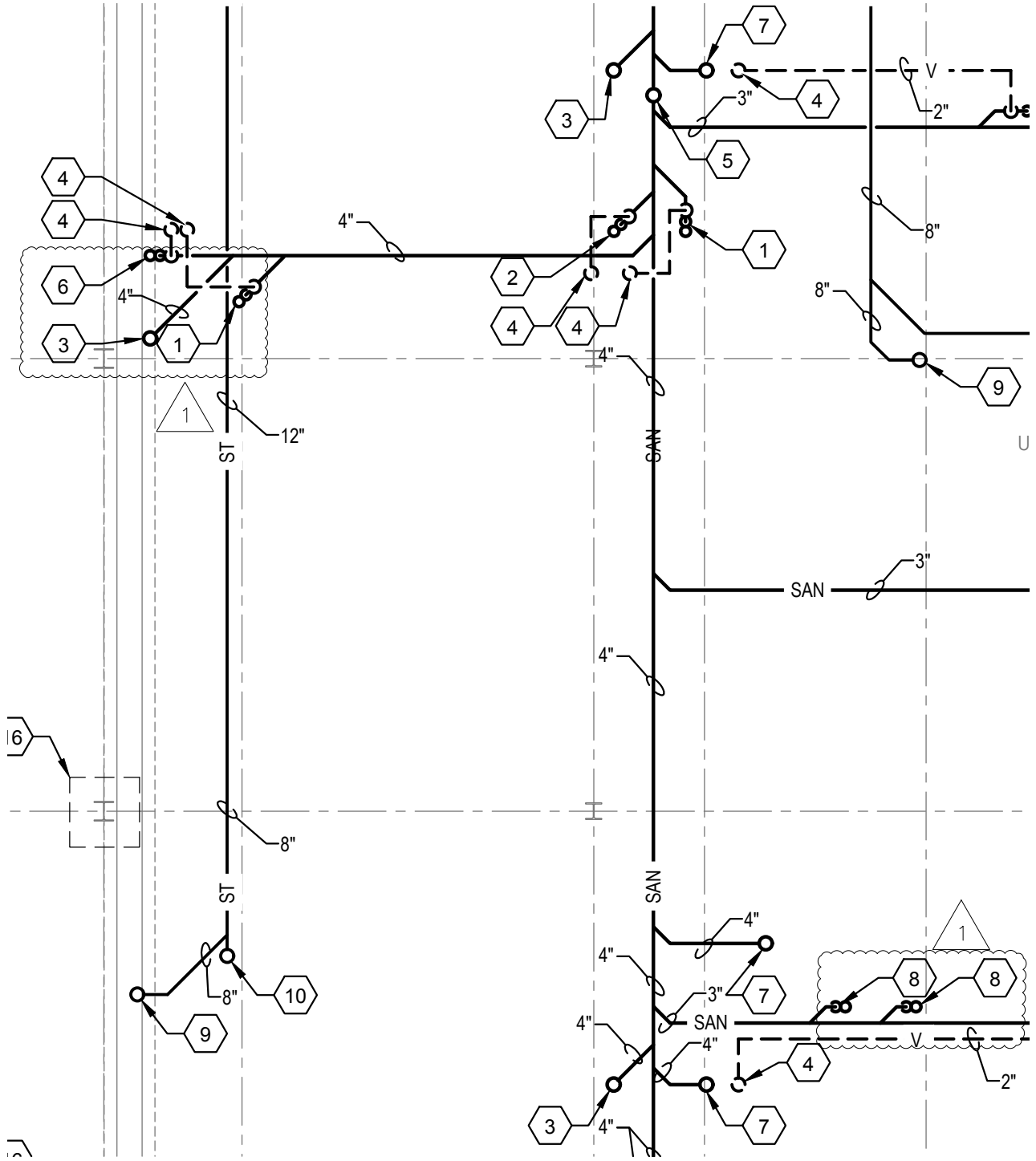
JOB NO. 1625  
SCALE AS NOTED  
ISSUE DATE 06/30/17  
DRAWN BY JLN/DJP  
CHECKED BY DJP

THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

## DRAWING TITLE

# GENERAL NOTES AND SYMBOLS LIST ELECTRICAL

### E-000



1  
P-010.1

# PLUMBING UNDERSLAB FLOOR PLAN AREA A

SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-010.1</b>
DRAWING NUMBER: <b>ADP-001</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>UNDERSLAB FLOOR PLAN AREA A - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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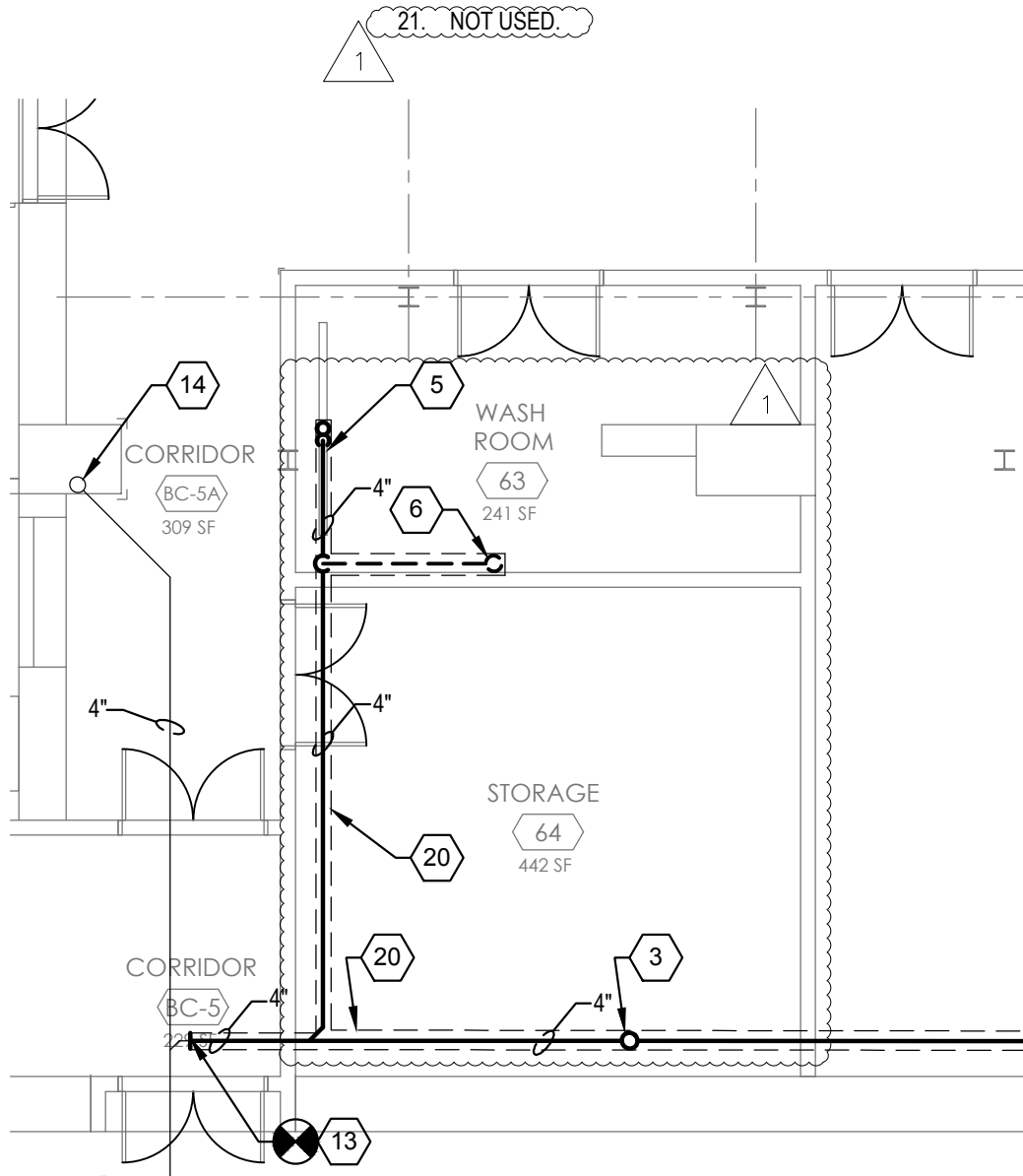
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(585) 244.1294 fax.

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KEYED NOTES: #

21. NOT USED.



PLUMBING UNDERSLAB FLOOR PLAN AREA C

1  
P-010.3

SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-010.3</b>
DRAWING NUMBER: <b>ADP-002</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

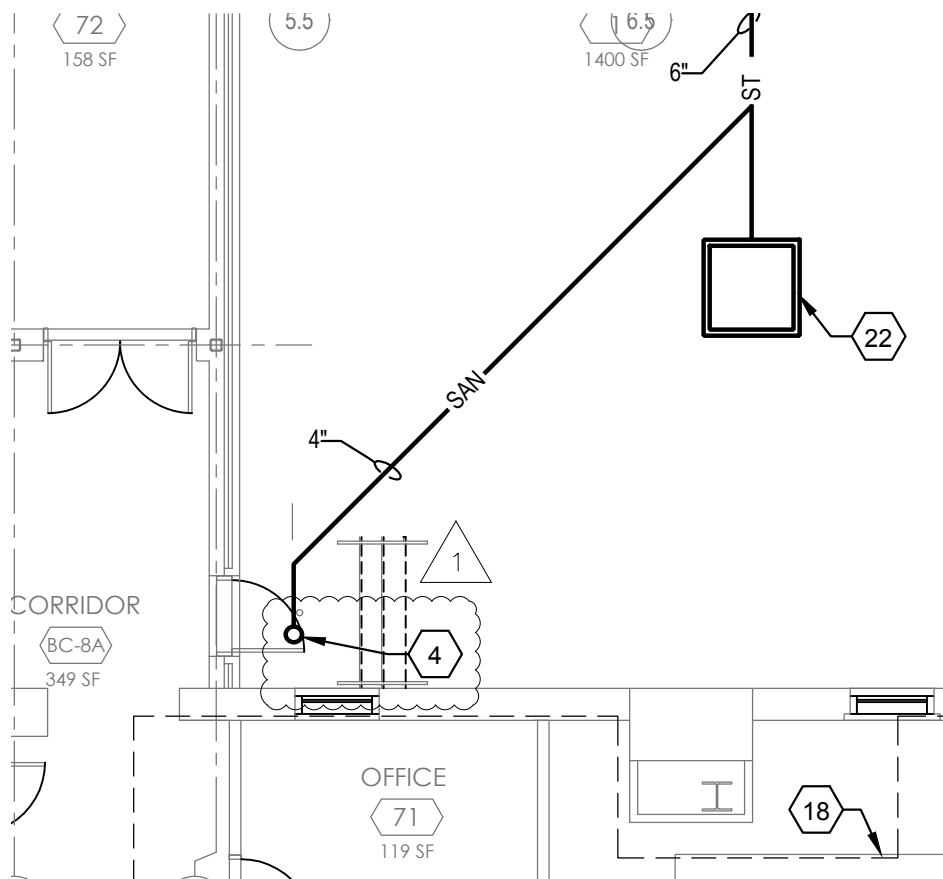
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>UNDERSLAB FLOOR PLAN AREA C - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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# PLUMBING UNDERSLAB FLOOR PLAN AREA D

1  
P-010.4 SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-010.4</b>
DRAWING NUMBER: <b>ADP-003</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

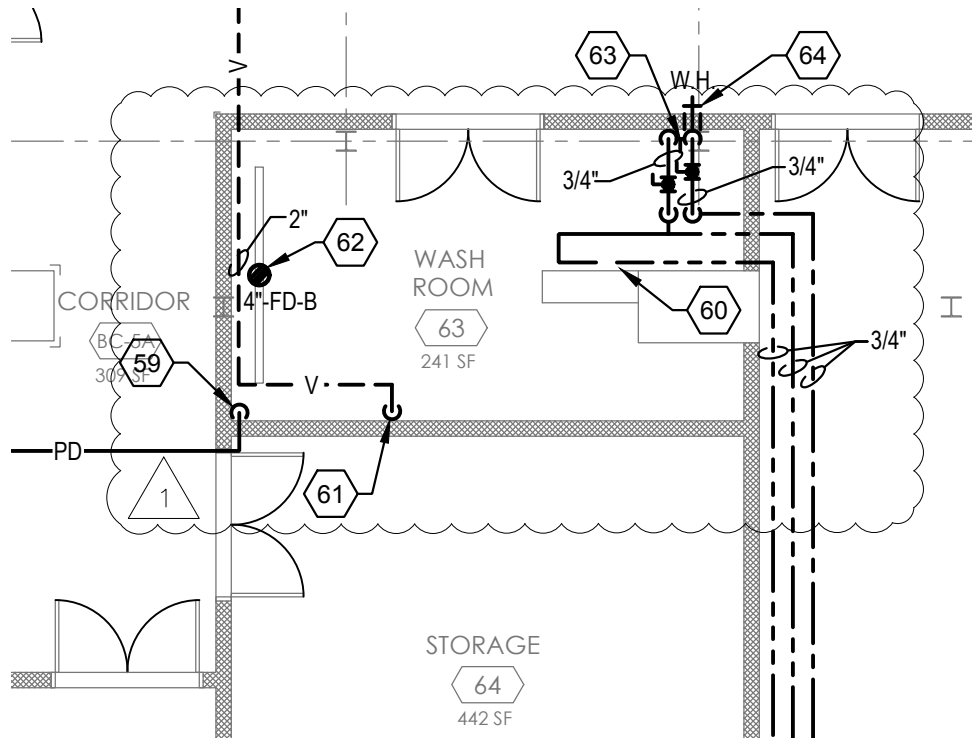
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DRAWING TITLE: <b>UNDERSLAB FLOOR PLAN AREA D - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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1
**PLUMBING BASEMENT FLOOR PLAN AREA C**  
 P-100.3 SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-100.3</b>
DRAWING NUMBER: <b>ADP-004</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

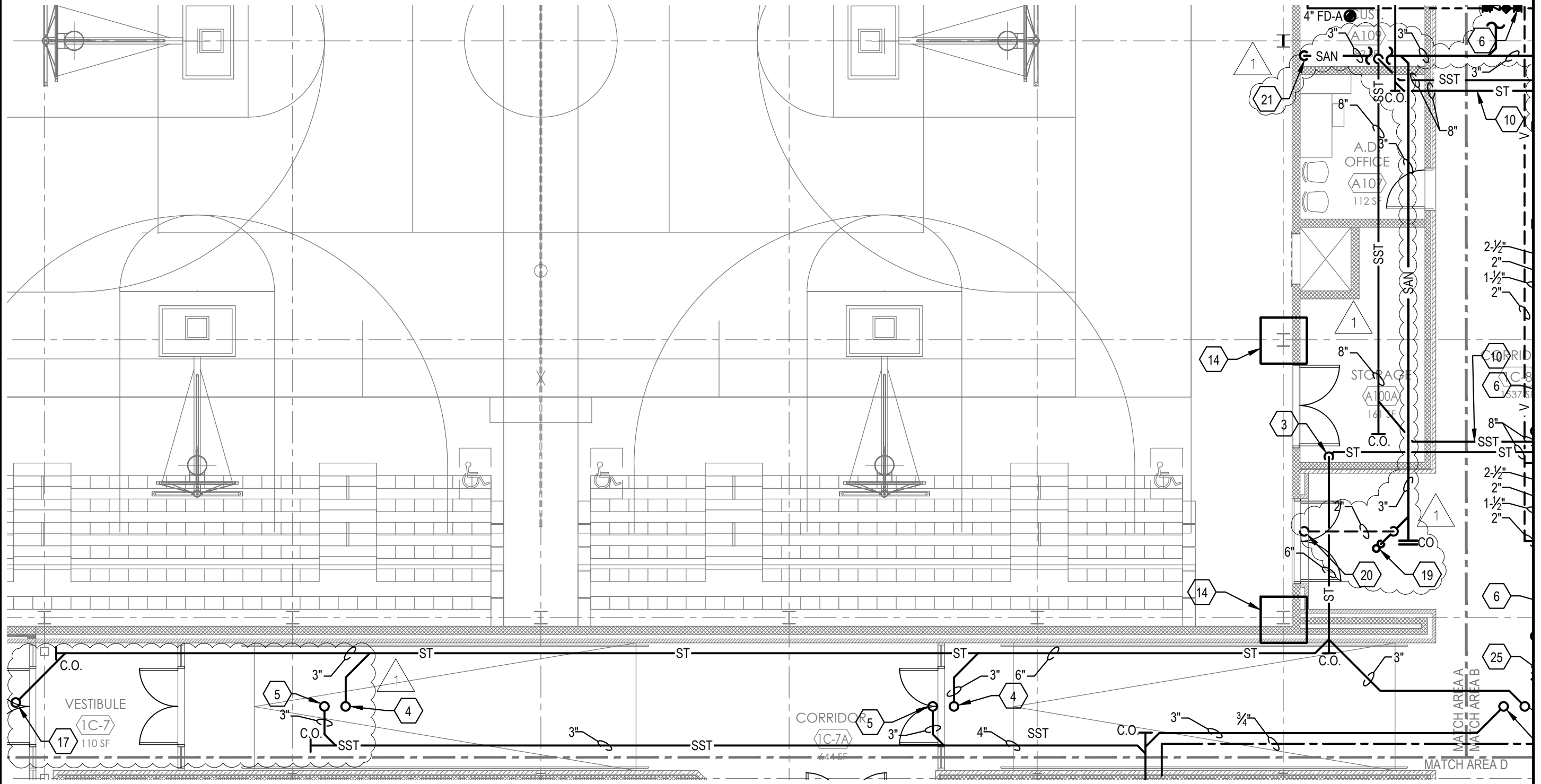
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DRAWING TITLE: <b>BASEMENT FLOOR PLAN AREA C - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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KEYED NOTES: #

- 19. 3" SAN. W/ DEEP SEAL TRAP UP TO TRENCH DRAIN.
- 20. 2" V. UP.
- 21. 3" SAN. DN.

1



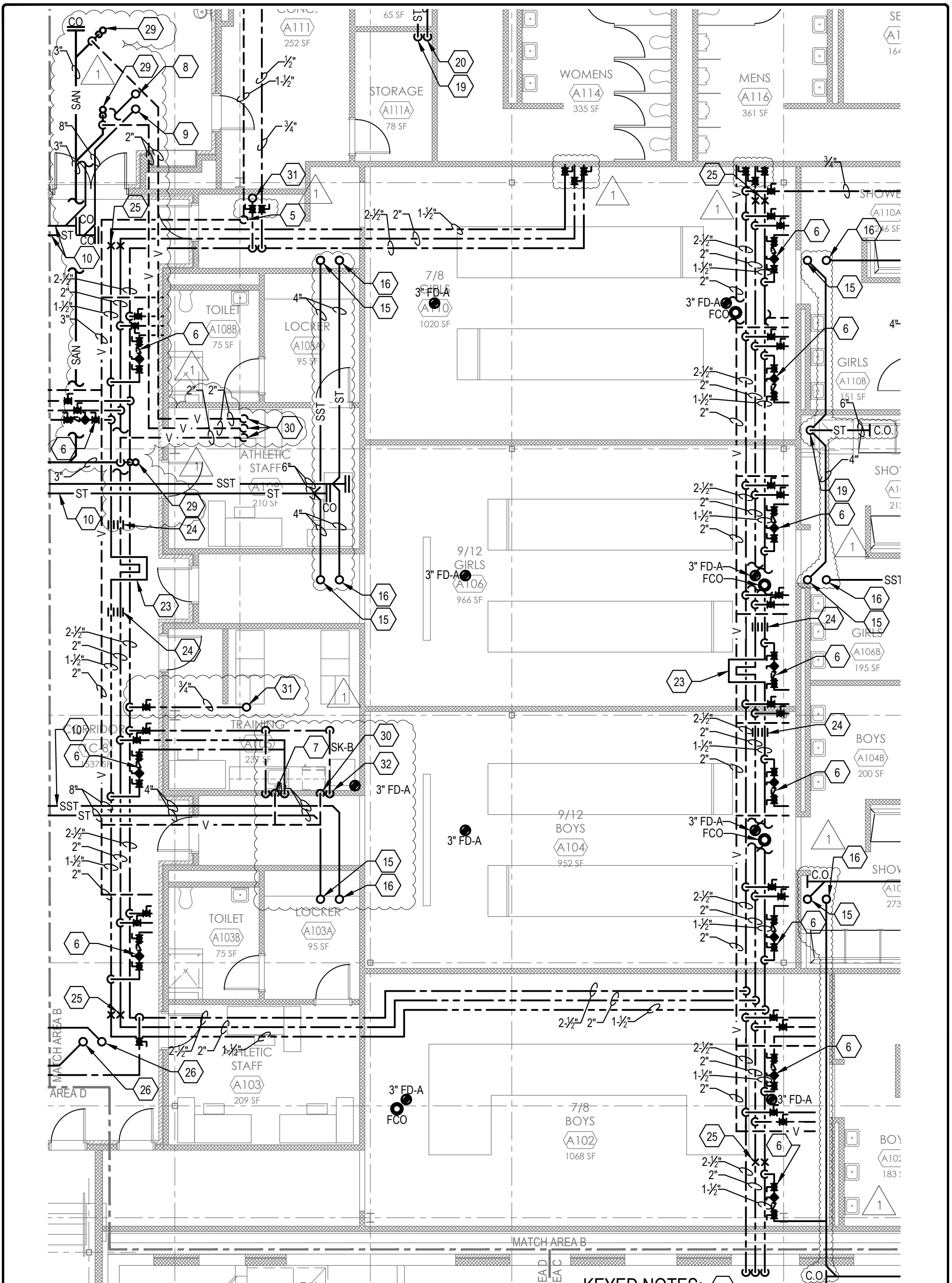
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 James Monroe High School  
 164 Alexander Street  
 Rochester, New York  
 SED #: 26-16-00-01-0-107-029  
 DWT #: 26-16-00-01-7-999-019

PROJECT: RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B	
DRAWING TITLE: FIRST FLOOR PLAN AREA A - ADD #1	REVISION DATE: 7/18/17
PROJECT NO: 1625	ISSUE DATE: 7/18/17
DRAWN BY: MPC	SCALE: AS NOTED

DRAWING REFERENCE NUMBER(S): P-101.1  
 DRAWING NUMBER: ADP-005

1  
 P-101.1  
**PLUMBING FIRST FLOOR PLAN AREA A**  
 SCALE: 1/8" = 1'-0"



**1 PLUMBING FIRST FLOOR PLAN AREA B**

P-101.2 SCALE: 1/8" = 1'-0"

- KEYED NOTES:** #
- 29. 3" SAN. W/ DEEP SEAL TRAP UP TO TRENCH DRAIN.
  - 30. 2" V. UP.
  - 31. 3/4" C. UP TO HOSE BIBB.
  - 32. 1/2" C. DN.

DRAWING REFERENCE NUMBER(S):  
**P-101.2**

DRAWING NUMBER:  
**ADP-006**

PROJECT: **RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B**

DRAWING TITLE:  
**FIRST FLOOR PLAN AREA B - ADD #1**

PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17
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SED #: 26-16-00-01-0-107-029  
DWT #: 26-16-00-01-7-999-019

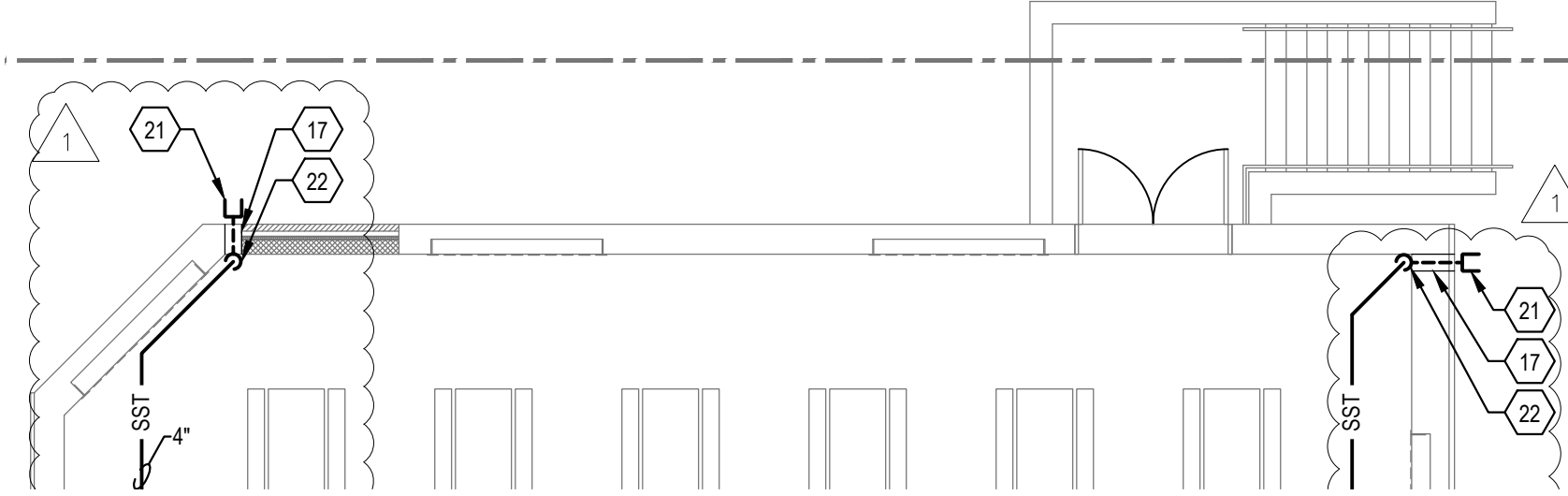
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1  
P-101.2

# PLUMBING FIRST FLOOR PLAN AREA B

SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S):

P-101.2

DRAWING NUMBER:

ADP-007

SED CONTROL NUMBERS:

SED. #: 26-16-00-01-0-107-030  
DWT #: 26-16-00-01-7-999-019

PROJECT:

RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B

DRAWING TITLE:

FIRST FLOOR PLAN AREA B - ADD #1

PROJECT NO:

1625

DRAWN BY:

MPC

SCALE:

AS NOTED

ISSUE DATE:

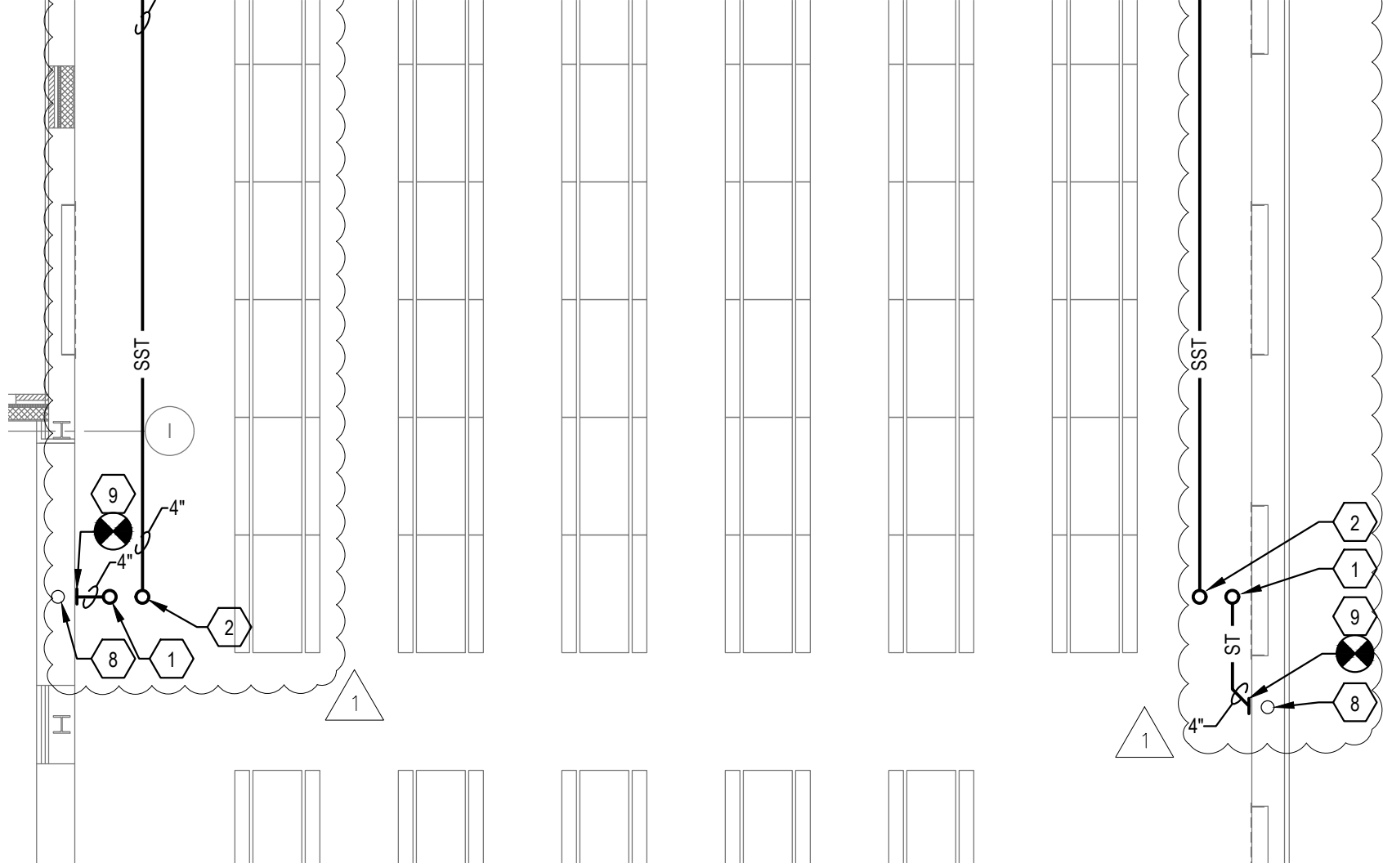
7/18/17

REVISION DATE:

7/18/17

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1  
P-101.3

# PLUMBING FIRST FLOOR PLAN AREA C

SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S):  
P-101.3

DRAWING NUMBER:

ADP-008

SED CONTROL NUMBERS:

SED # 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

PROJECT: RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B

DRAWING TITLE:  
FIRST FLOOR PLAN AREA C - ADD #1

PROJECT NO:  
1625

DRAWN BY:  
MPC

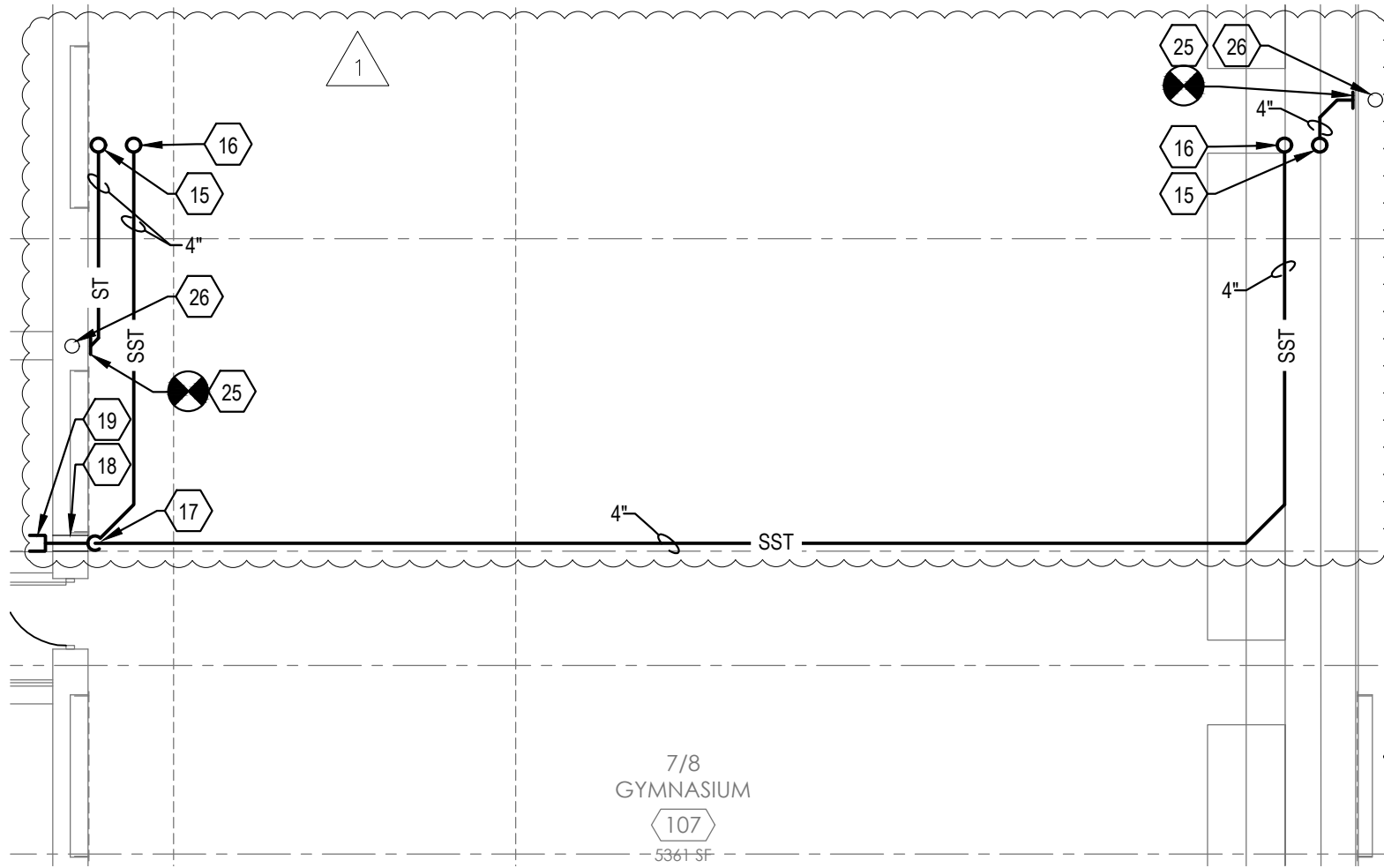
SCALE:  
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ISSUE DATE:  
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**KEYED NOTES:** #

- 25. CONNECT 4" ST TO 4" ST.
- 26. 4" ST. UP/DN TO REMAIN. PROVIDE FOR PIPE RELINING 4" VERTICAL STORM SEWER PIPE TO REMAIN IN WALL FROM UNDERSIDE OF ROOF DECK AT WALL TO BASEMENT FLOOR LEVEL.

1  
P-101.4

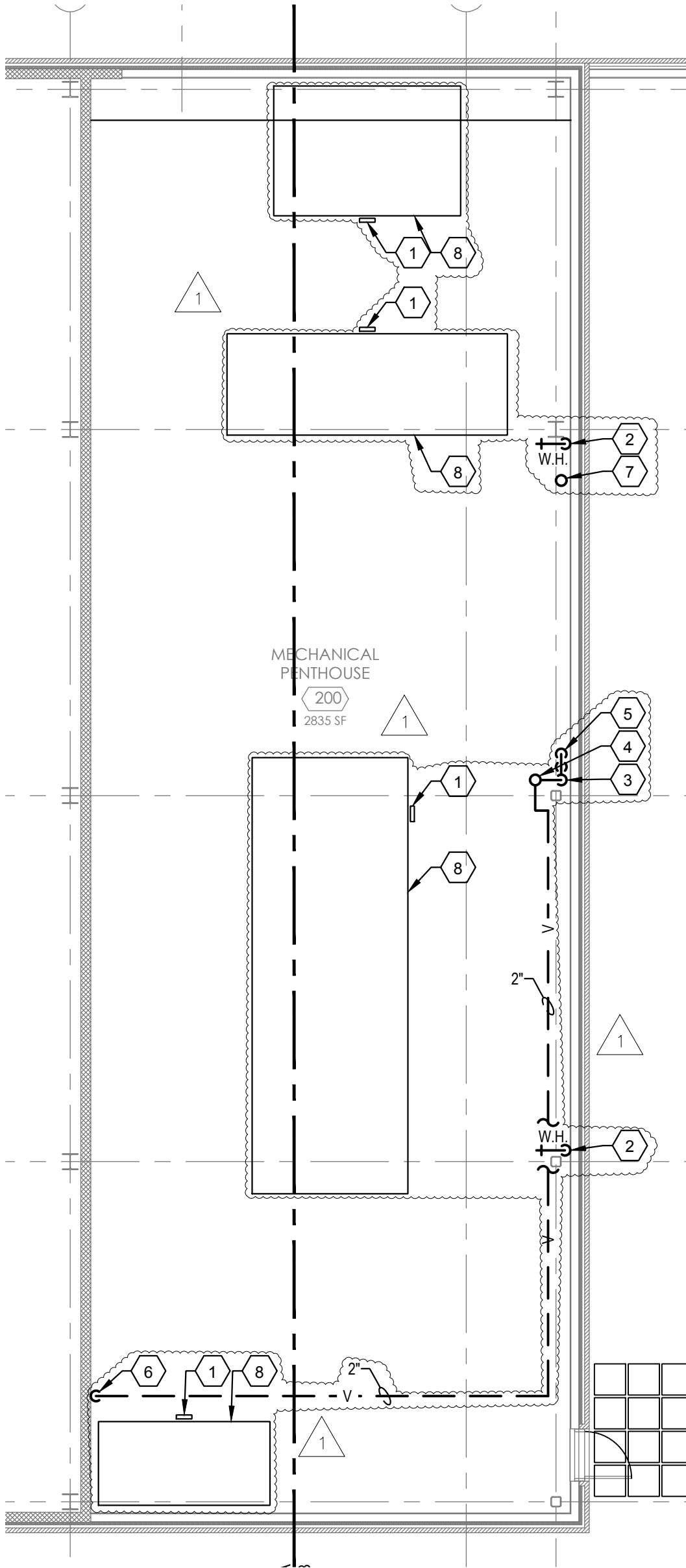
**PLUMBING FIRST FLOOR PLAN AREA D**

SCALE: 1/8" = 1'-0"

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PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>	
DRAWING TITLE: <b>FIRST FLOOR PLAN AREA D - ADD #1</b>	
PROJECT NO: <b>1625</b>	REVISION DATE: <b>7/18/17</b>
DRAWN BY: <b>MPC</b>	ISSUE DATE: <b>7/18/17</b>
SCALE: <b>AS NOTED</b>	

DRAWING REFERENCE NUMBER(S): <b>P-101.4</b>
DRAWING NUMBER: <b>ADP-009</b>
SED CONTROL NUMBERS: SED. #: <b>26-16-00-01-0-107-030</b> DWT #: <b>26-16-00-01-7-999-019</b>



MECHANICAL  
PENTHOUSE  
200  
2835 SF

**PLUMBING SECOND FLOOR PLAN AREA B**

1  
P-102.2 SCALE: 1/8" = 1'-0"

**KEYED NOTES: #**

1. 3" TRENCH DRAIN.
2. 3/4" C. TO HOSE BIBB W/ VACUUM BREAKER LOCATED 30" A.F.F..
3. 3" V. DN.
4. 3" V THROUGH ROOF. EXTEND TO 18" ABOVE FINISHED ROOF.
5. 2" V. DN. X(3).
6. 2" V. DN..
7. 4" V THROUGH ROOF. EXTEND TO 18" ABOVE FINISHED ROOF.
8. EQUIPMENT PAD. REFER TO FINAL EQUIPMENT PAD LOCATIONS AS DEVELOPED AND LOCATED FOR THE PENTHOUSE SHOP COORDINATION DRAWINGS. ADJUST FINAL LOCATIONS OF TRENCH DRAINS DURING CONSTRUCTION TO LOCATE ADJACENT TO FINAL PAD LOCATION.

DRAWING REFERENCE NUMBER(S):  
**P-102.2**

DRAWING NUMBER:  
**ADP-010**

PROJECT: RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B				
DRAWING TITLE: SECOND FLOOR PLAN AREA B - ADD #1				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

Rochester City School District  
James Monroe High School  
164 Alexander Street  
Rochester, New York

SED #: 26-16-00-01-0-107-029  
DWT #: 26-16-00-01-7-999-019

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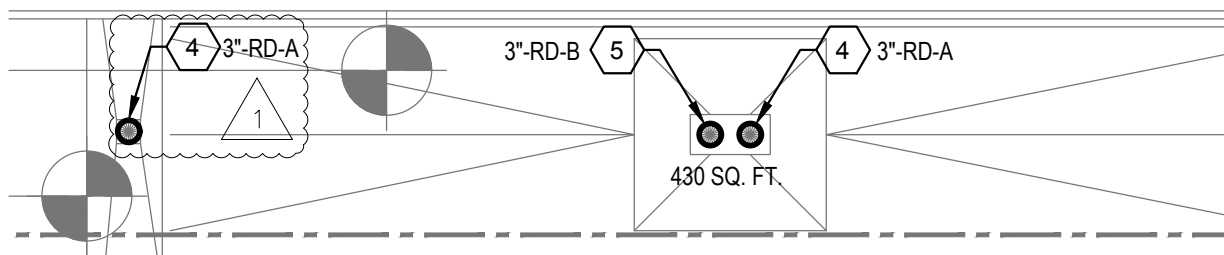
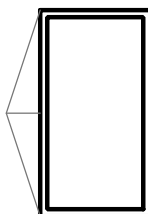
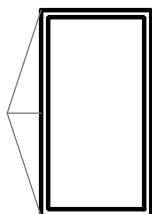
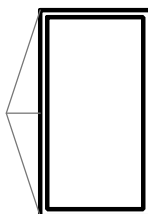
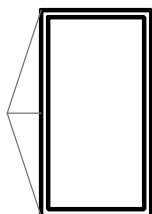
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ROOF  
AREA 4

STR

R-4



1  
P-103.1

**PLUMBING  
ROOF LEVEL AREA A**

SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-103.1</b>
DRAWING NUMBER: <b>ADP-011</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

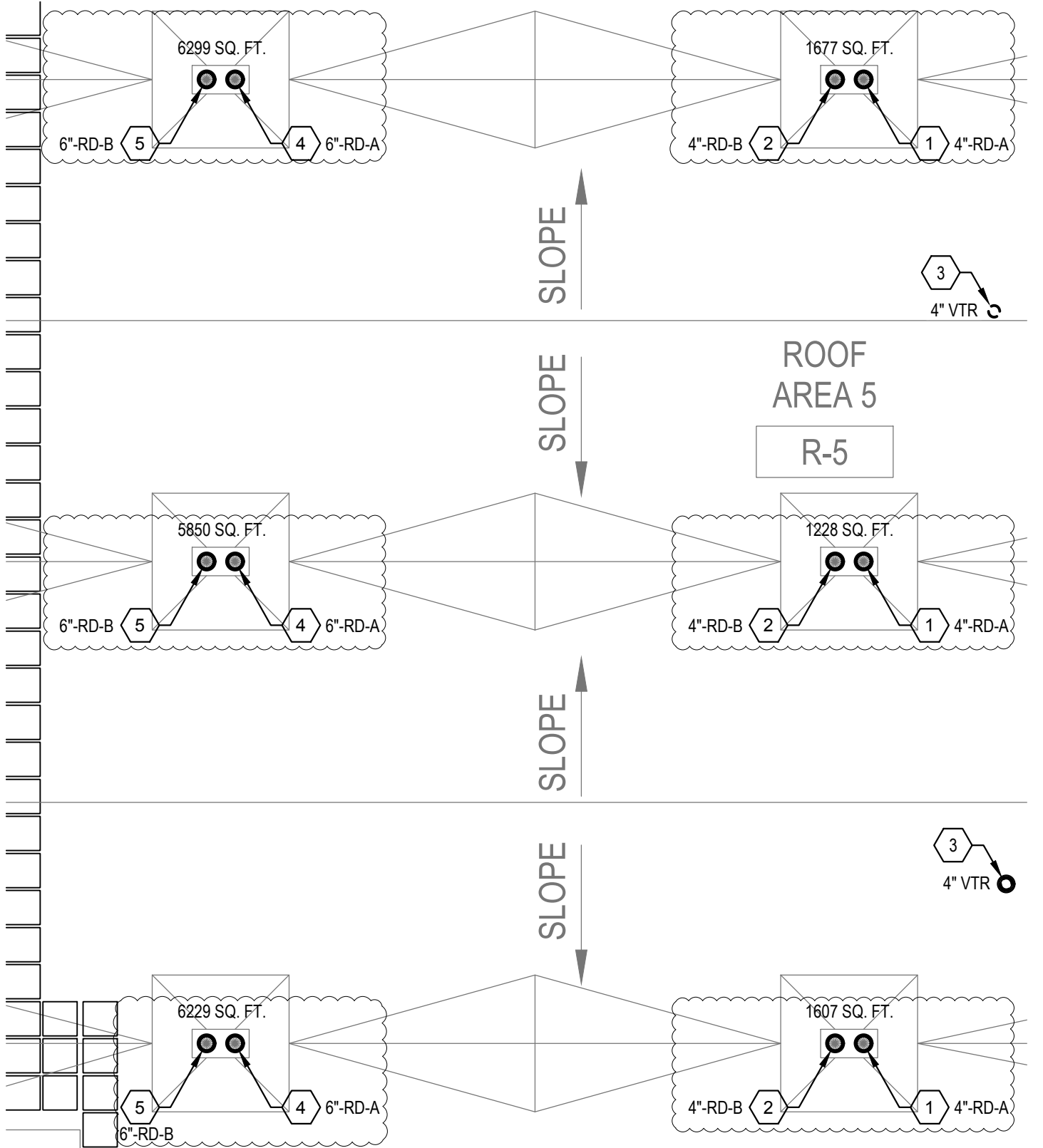
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>ROOF LEVEL AREA A - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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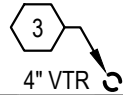


SLOPE ↑

SLOPE ↓

SLOPE ↑

SLOPE ↓



ROOF AREA 5

R-5

**1 PLUMBING ROOF LEVEL AREA B**  
 P-103.2 SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-103.2</b>
DRAWING NUMBER: <b>ADP-012</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

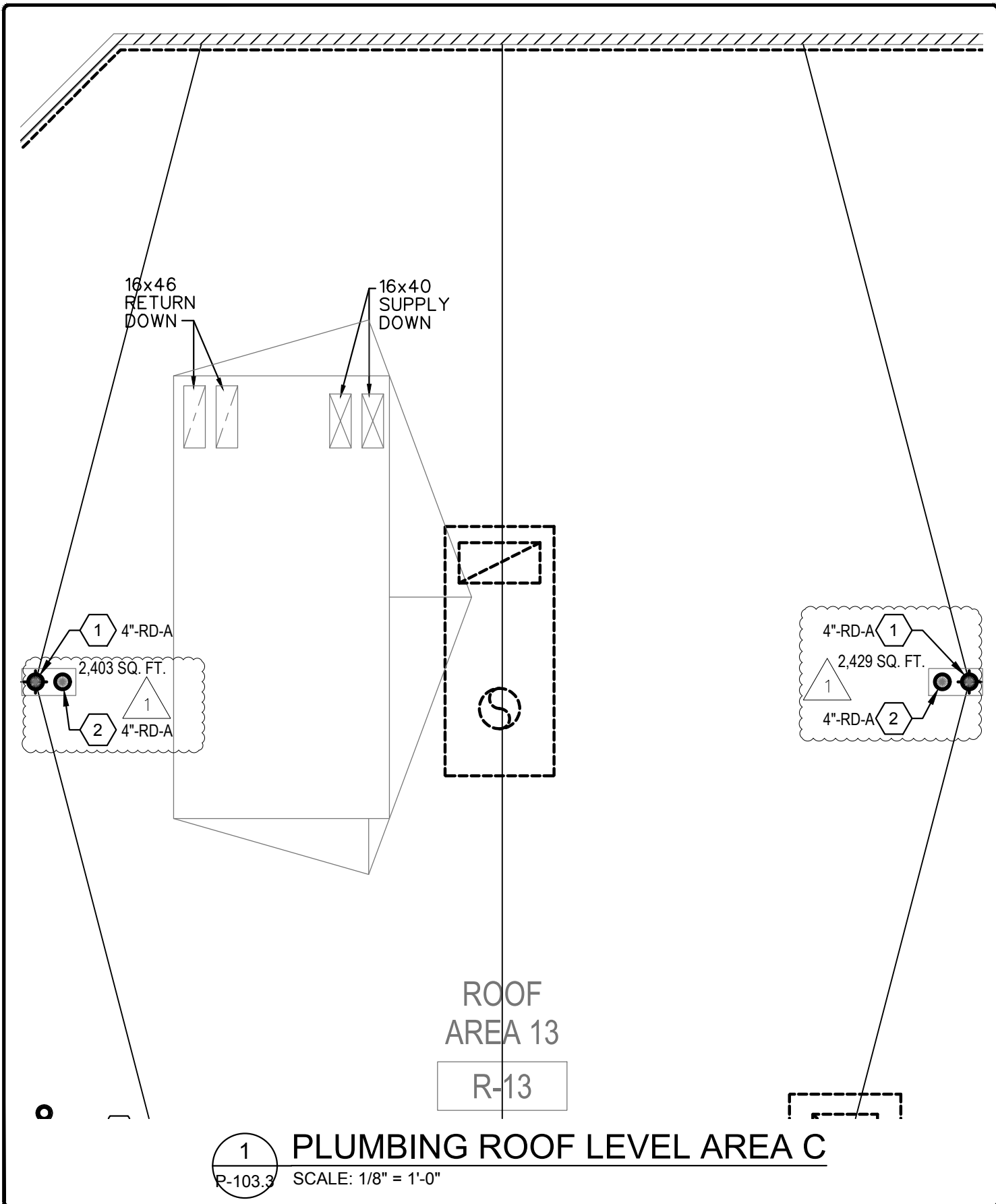
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>ROOF LEVEL AREA B - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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DRAWING REFERENCE NUMBER(S): <b>P-103.3</b>
DRAWING NUMBER: <b>ADP-013</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

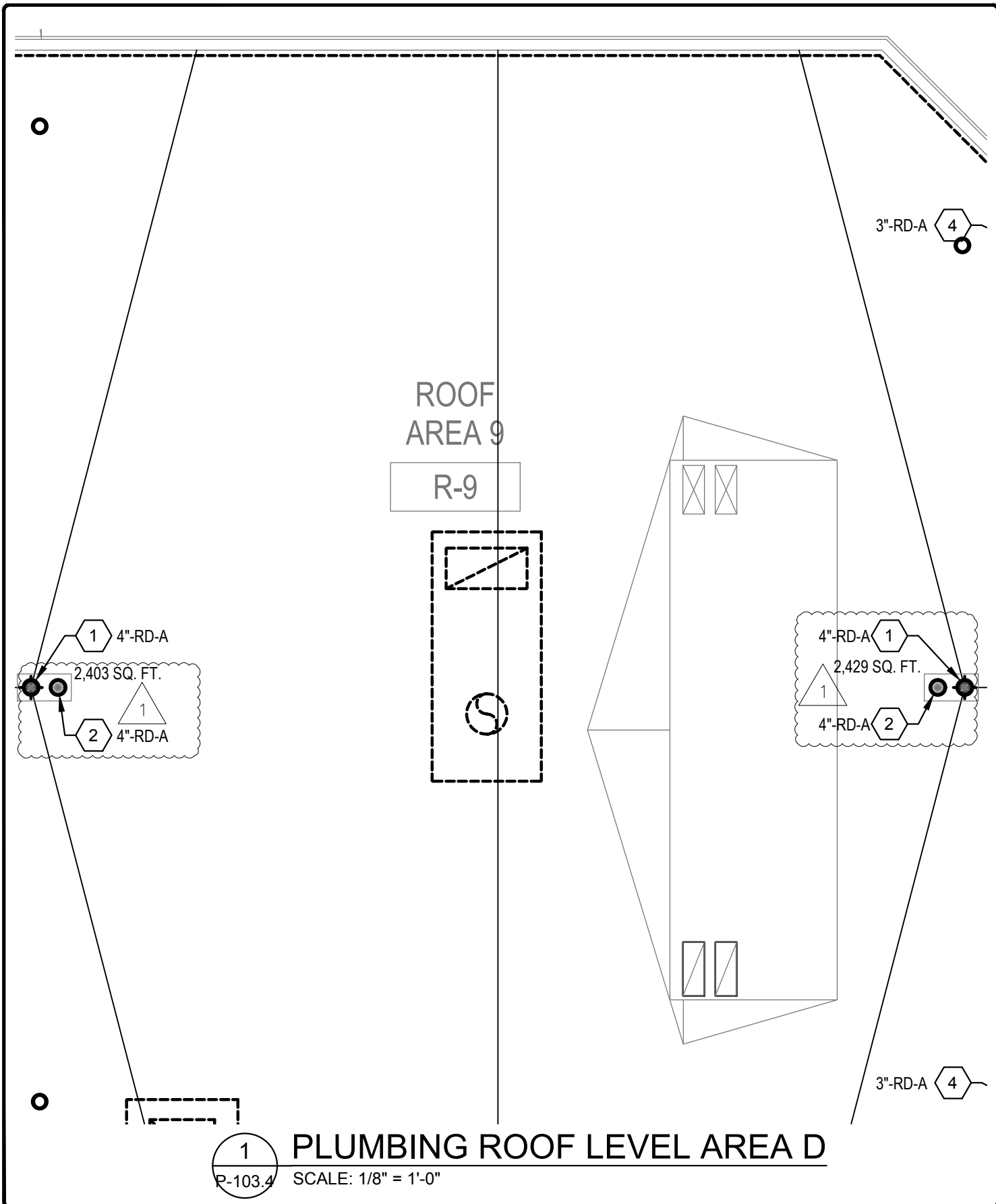
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>ROOF LEVEL AREA C - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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DRAWING REFERENCE NUMBER(S): <b>P-103.4</b>
DRAWING NUMBER: <b>ADP-014</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>ROOF LEVEL AREA D - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

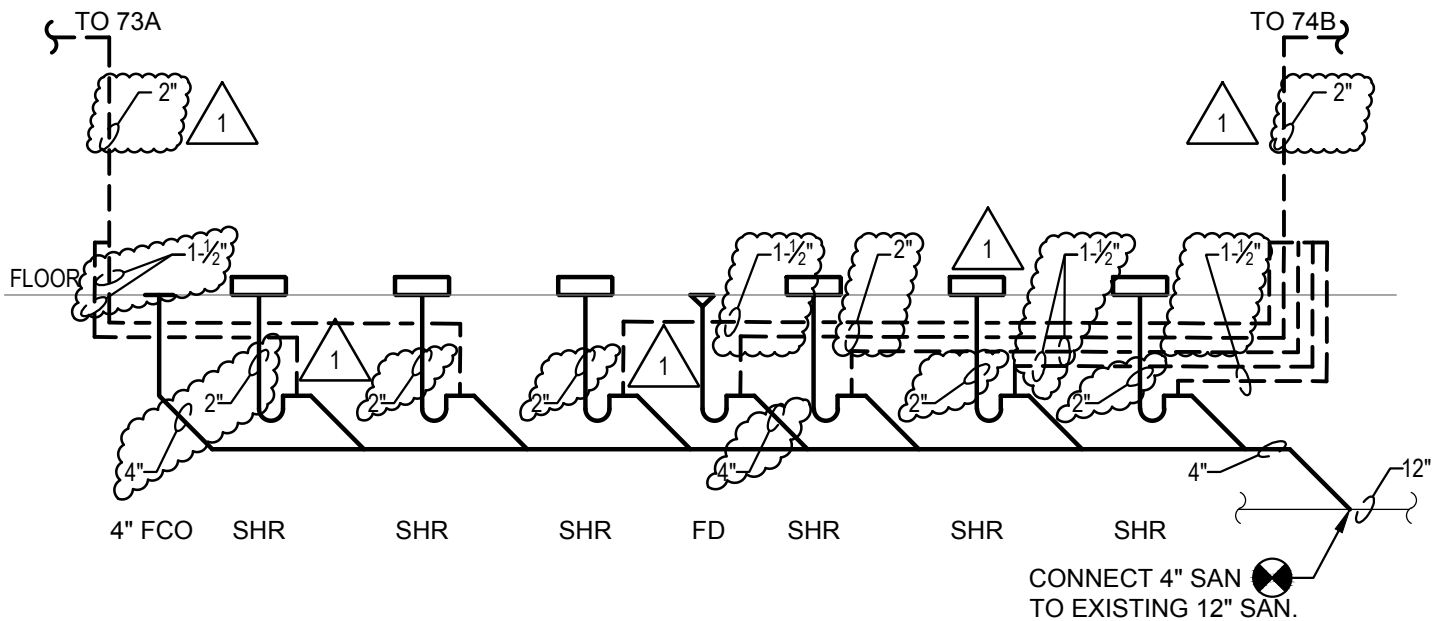
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2  
P-301

# RISER DIAGRAM - SANITARY - TOILETS 73B/ 74C

SCALE: NOT TO SCALE

DRAWING REFERENCE NUMBER(S): <b>P-301</b>
DRAWING NUMBER: <b>ADP-015</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

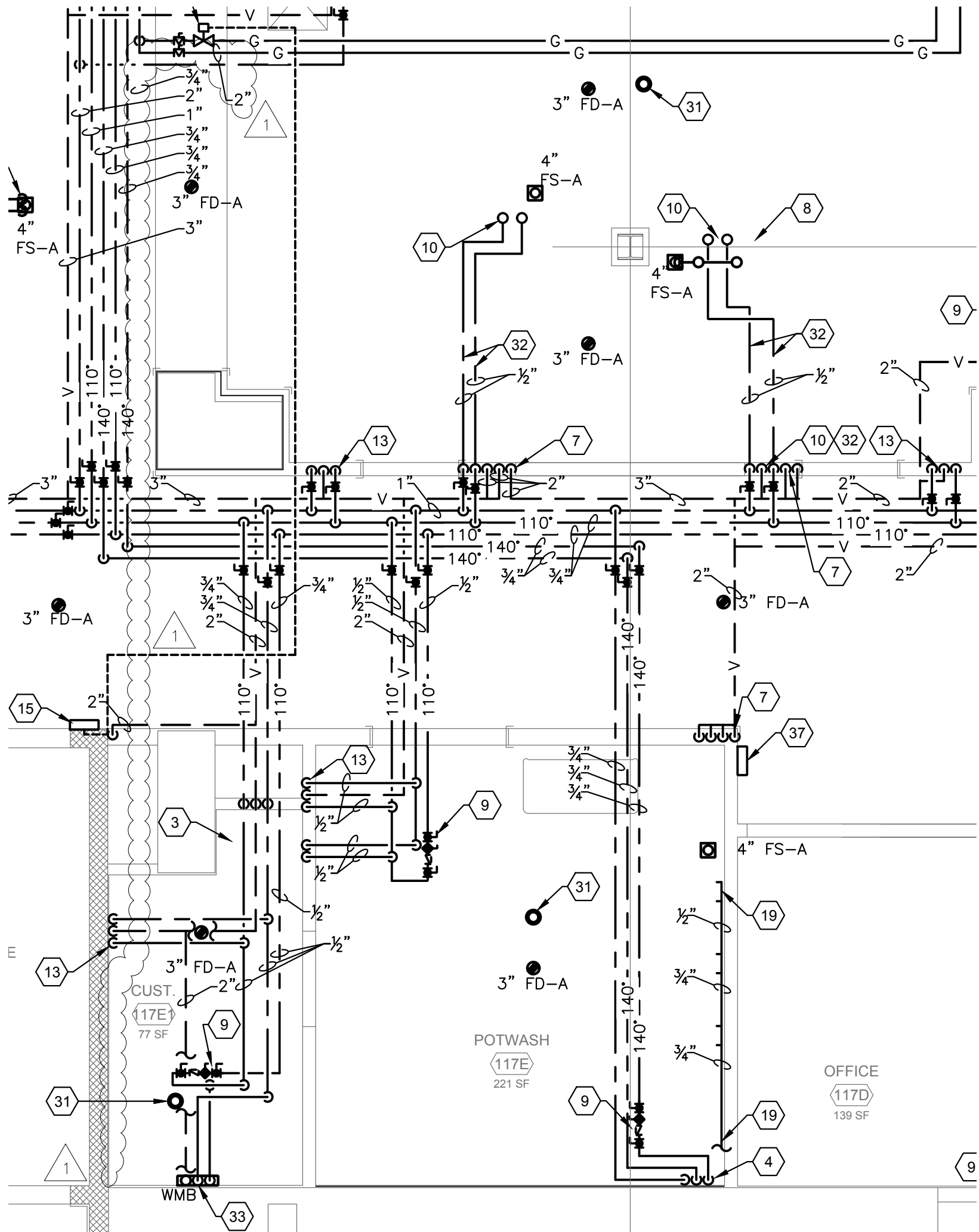
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>RISER DIAGRAMS - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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**PLUMBING NOTES: #**

- 1 34. 2" GAS PIPING UP THROUGH ROOF FOR MECHANICAL AHU. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
- 35. NOT USED.

**KITCHEN SCHEDULE**

ITEM NO.	QTY	DESCRIPTION	CW SIZE (IN)	HW SIZE (IN)	WASTE (IN)	VENT	IND. WASTE (IN)	GAS	BTU/HR	REMARKS
1.099	1	WASHER/ DRYER	1/2"	-	-	-	1 1/2"	-	-	

**1 ENLARGED KITCHEN PLAN - ABOVE FLOOR**  
SCALE: 1/4" = 1'-0"

DRAWING REFERENCE NUMBER(S):  
**P-402**

DRAWING NUMBER:  
**ADP-016**

PROJECT: **RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B**

DRAWING TITLE:  
**ENLARGED KITCHEN PLAN - ADD #1**

PROJECT NO: 1625    DRAWN BY: MPC    SCALE: AS NOTED    ISSUE DATE: 7/18/17    REVISION DATE: 7/18/17

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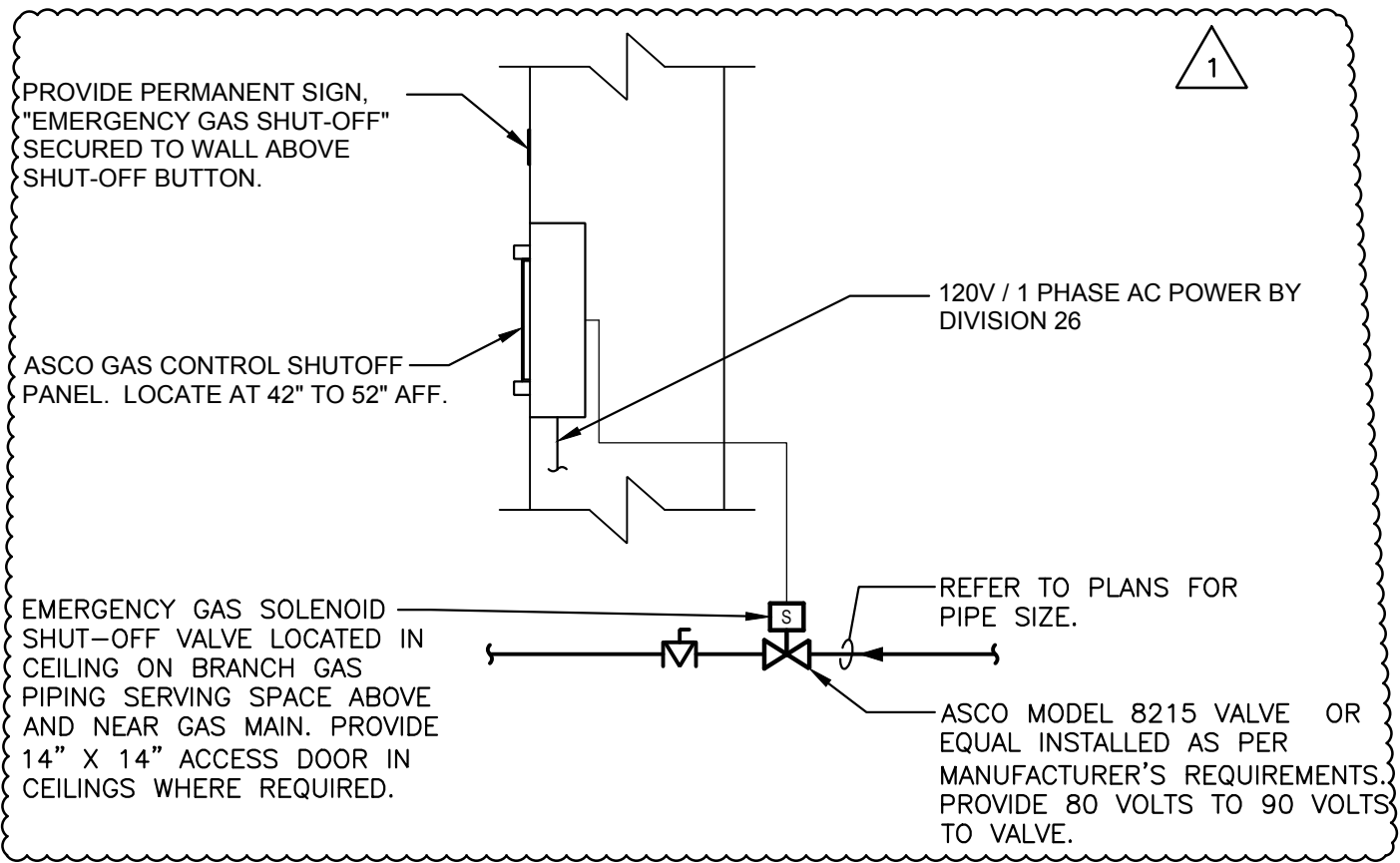
SED #: 26-16-00-01-0-107-029  
DWT #: 26-16-00-01-7-999-019

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10  
P-501

## EMERGENCY GAS SHUTOFF

SCALE: NOT TO SCALE

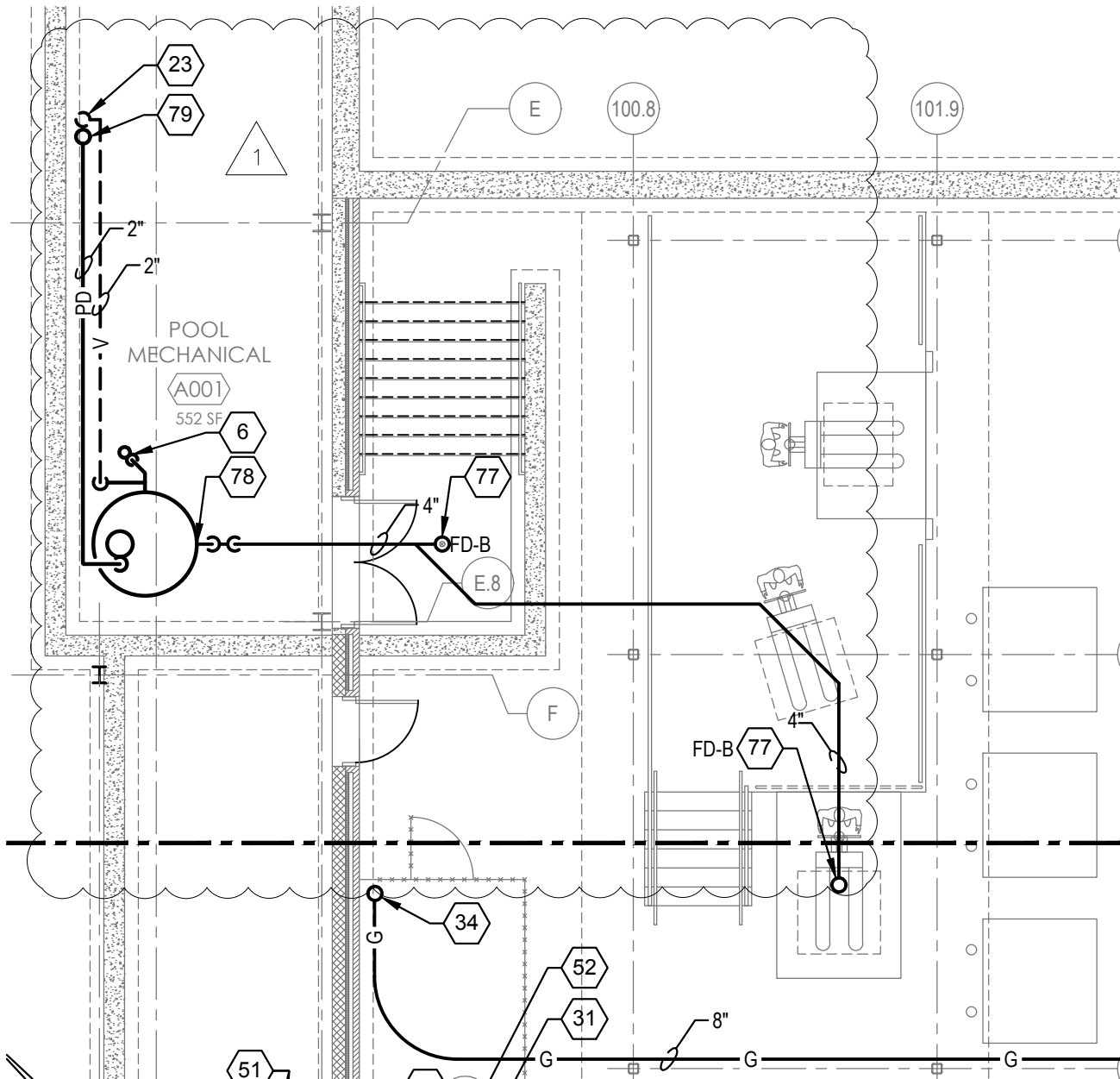
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DRAWING NUMBER: <b>ADP-017</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>PLUMBING DETAILS - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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**KEYED NOTES: #**

- 77. 4" FD-B
- 78. PROVIDE 4" ST. PIPING TO SUMP PUMP BASIN.
- 79. EXTEND 2" PD UP INTO ADDITION AND CONNECT TO 4" SANITARY STACK IN CHASE.



**1 PLUMBING BASEMENT FLOOR PLAN AREA C**  
 P-100.3 SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-100.3</b>
DRAWING NUMBER: <b>ADP-018</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>BASEMENT FLOOR PLAN AREA C - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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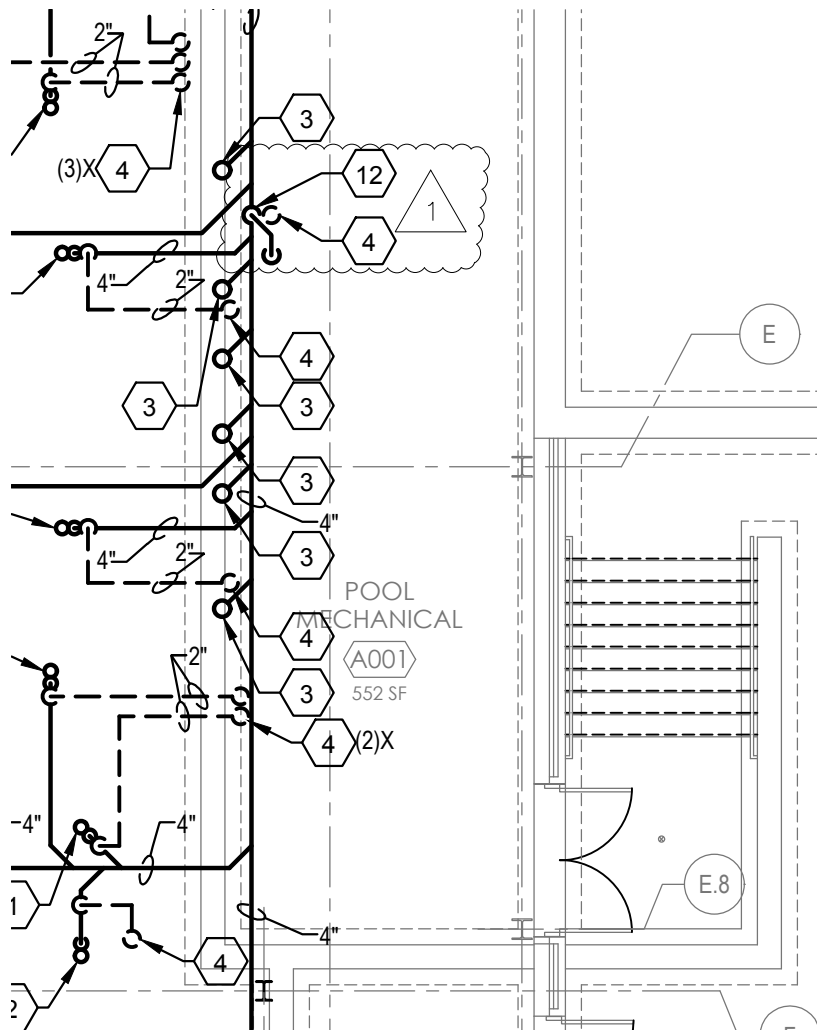
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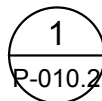
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**KEYED NOTES: #**

12. 2" PD DOWN TO SUMP PUMP



**PLUMBING UNDERSLAB FLOOR PLAN AREA B**



SCALE: 1/8" = 1'-0"

DRAWING REFERENCE NUMBER(S): <b>P-010.2</b>
DRAWING NUMBER: <b>ADP-019</b>
SED CONTROL NUMBERS: SED. #: 26-16-00-01-0-107-030 DWT #: 26-16-00-01-7-999-019

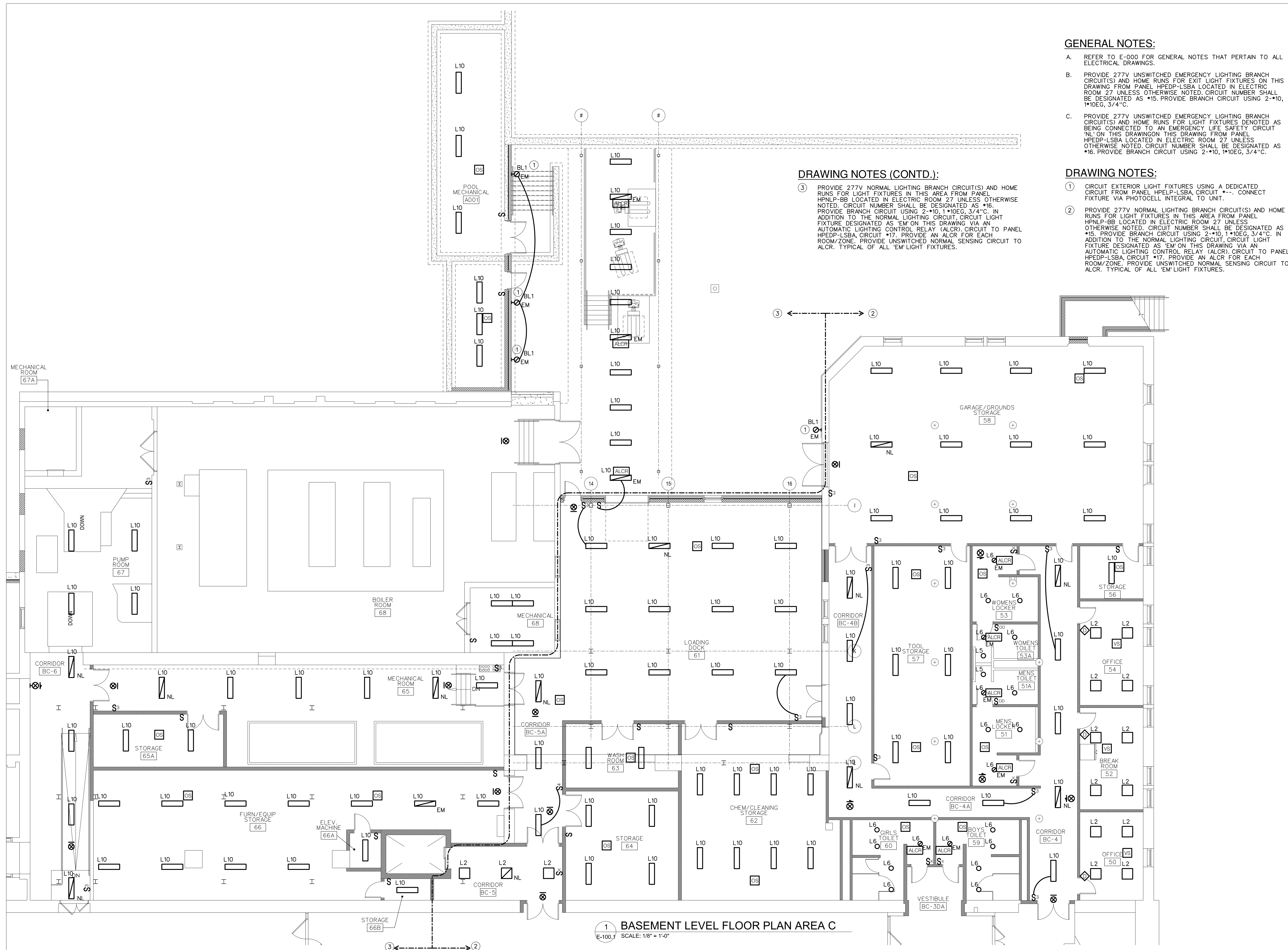
PROJECT: <b>RSMP - JAMES MONROE HIGH SCHOOL PHASE 2B</b>				
DRAWING TITLE: <b>UNDERSLAB FLOOR PLAN AREA B - ADD #1</b>				
PROJECT NO: 1625	DRAWN BY: MPC	SCALE: AS NOTED	ISSUE DATE: 7/18/17	REVISION DATE: 7/18/17

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**GENERAL NOTES:**

- A. REFER TO E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HPEDP-LSBA LOCATED IN ELECTRIC ROOM 27 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*15. PROVIDE BRANCH CIRCUIT USING 2-\*10, 1\*10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING THIS DRAWING FROM PANEL HPEDP-LSBA LOCATED IN ELECTRIC ROOM 27 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*16. PROVIDE BRANCH CIRCUIT USING 2-\*10, 1\*10EG, 3/4" C.

**DRAWING NOTES (CONTD.):**

- 3 PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HPNLP-BB LOCATED IN ELECTRIC ROOM 27 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*16. PROVIDE BRANCH CIRCUIT USING 2-\*10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS 'EM' ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR) CIRCUIT TO PANEL HPEDP-LSBA, CIRCUIT \*17. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL 'EM' LIGHT FIXTURES.

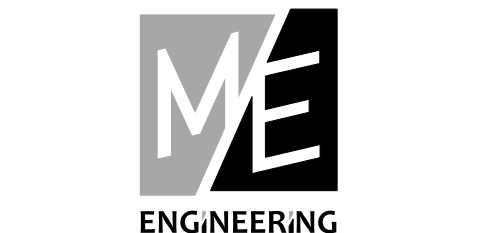
**DRAWING NOTES:**

- 1 CIRCUIT EXTERIOR LIGHT FIXTURES USING A DEDICATED CIRCUIT FROM PANEL HPEDP-LSBA, CIRCUIT \*---. CONNECT FIXTURE VIA PHOTOCELL INTEGRAL TO UNIT.
- 2 PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HPNLP-BB LOCATED IN ELECTRIC ROOM 27 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*15. PROVIDE BRANCH CIRCUIT USING 2-\*10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS 'EM' ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR) CIRCUIT TO PANEL HPEDP-LSBA, CIRCUIT \*17. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL 'EM' LIGHT FIXTURES.

1 BASEMENT LEVEL FLOOR PLAN AREA C  
E-100.1 SCALE: 1/8" = 1'-0"



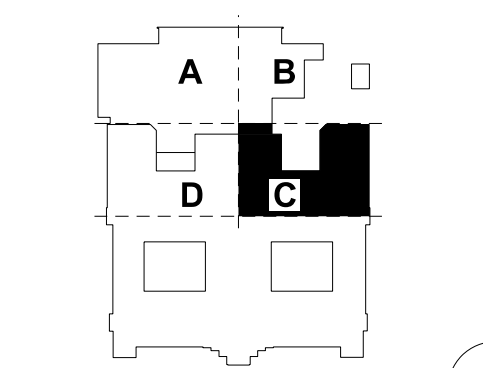
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Mechanical/Electrical Engineering Consultants  
ME Project #: 365368  
Rochester 1 Buffalo 1 Syracuse 1 Capital District  
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Create a masterpiece.



KEY PLAN

RCS  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

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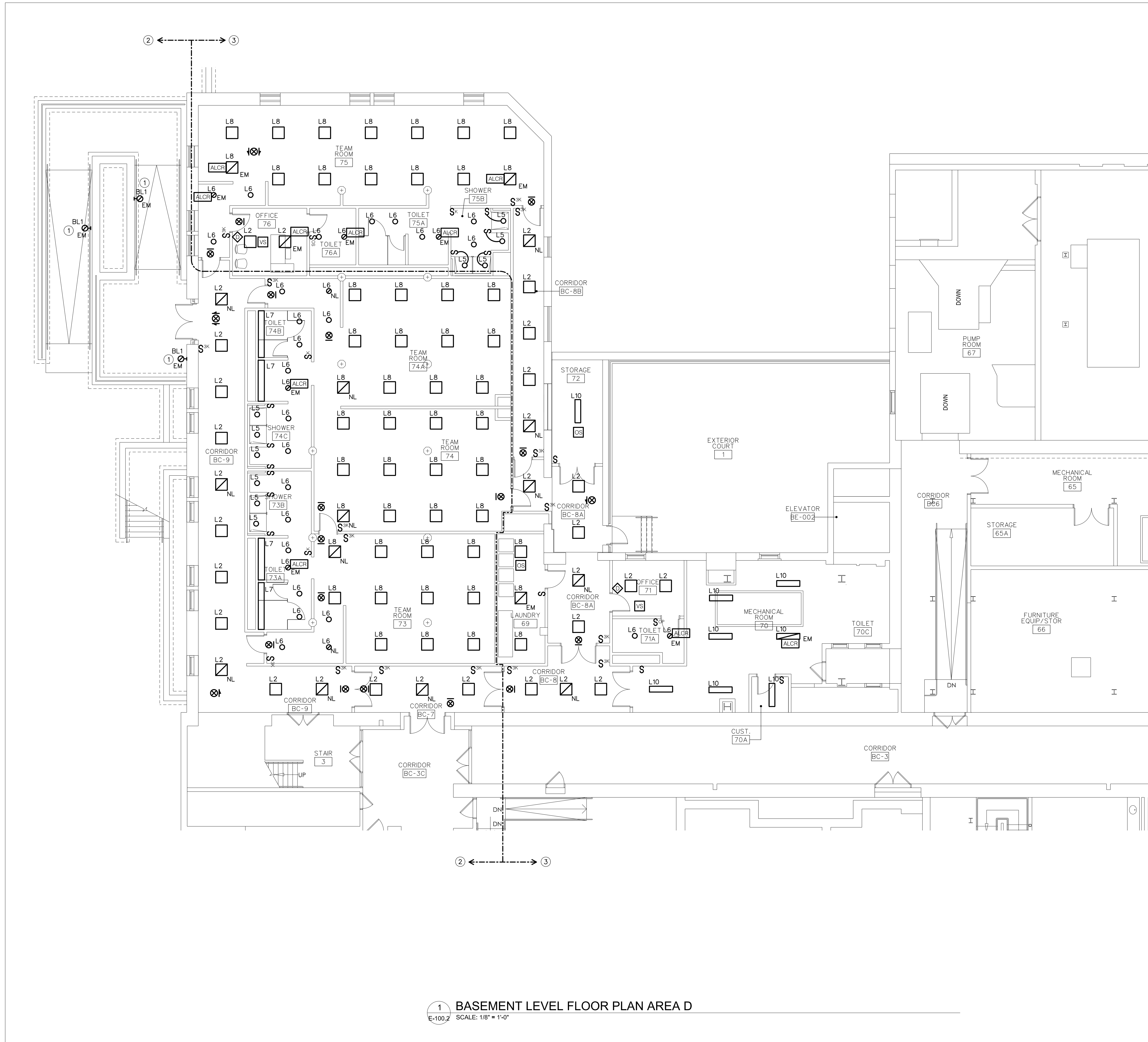
REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/13/17

JOB NO.	1625
SCALE	AS NOTED
ISSUE DATE	06/30/17
DRAWN BY	IUN/DJP
CHECKED BY	DJP

THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE  
**BASEMENT LEVEL FLOOR PLAN AREA C LIGHTING**

**E-100.1**



**GENERAL NOTES:**

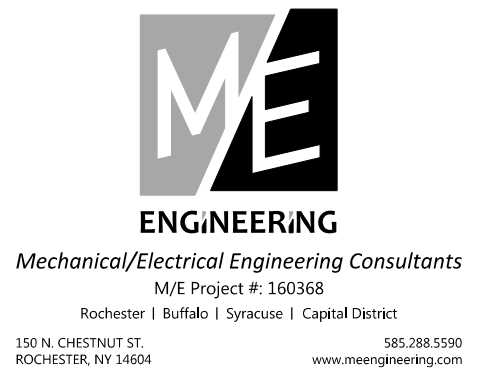
- A. REFER TO E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HP-ELP-LSBA LOCATED IN FAN ROOM 10 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*15. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING ON THIS DRAWING FROM PANEL HP-ELP-LSBA LOCATED IN ELECTRIC ROOM 27 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*16. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C.

**DRAWING NOTES:**

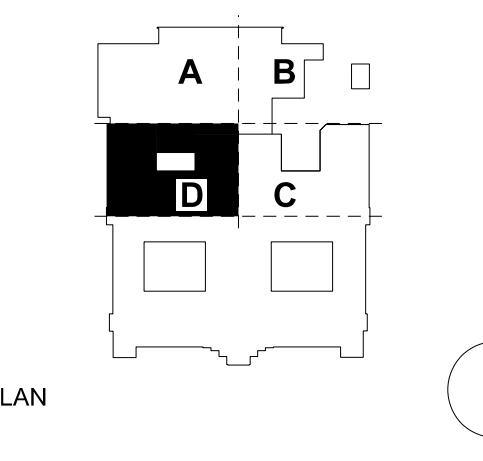
- ① CIRCUIT EXTERIOR LIGHT FIXTURES USING A DEDICATED CIRCUIT FROM PANEL HP-ELP-LSBA, CIRCUIT \*17. CONNECT FIXTURE VIA PHOTOCELL INTEGRAL TO UNIT.
- ② PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HP-ELP-LSBA LOCATED IN FAN ROOM 10 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*15. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS 'EM' ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR). CIRCUIT TO PANEL HP-ELP-LSBA, CIRCUIT \*17. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL 'EM' LIGHT FIXTURES.
- ③ PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HP-ELP-LSBA LOCATED IN FAN ROOM 10 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*16. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS 'EM' ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR). CIRCUIT TO PANEL HP-ELP-LSBA, CIRCUIT \*17. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL 'EM' LIGHT FIXTURES.



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Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

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REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/13/17

JOB NO.	1625
SCALE	AS NOTED
ISSUE DATE	06/30/17
DRAWN BY	UN/DJP
CHECKED BY	DJP

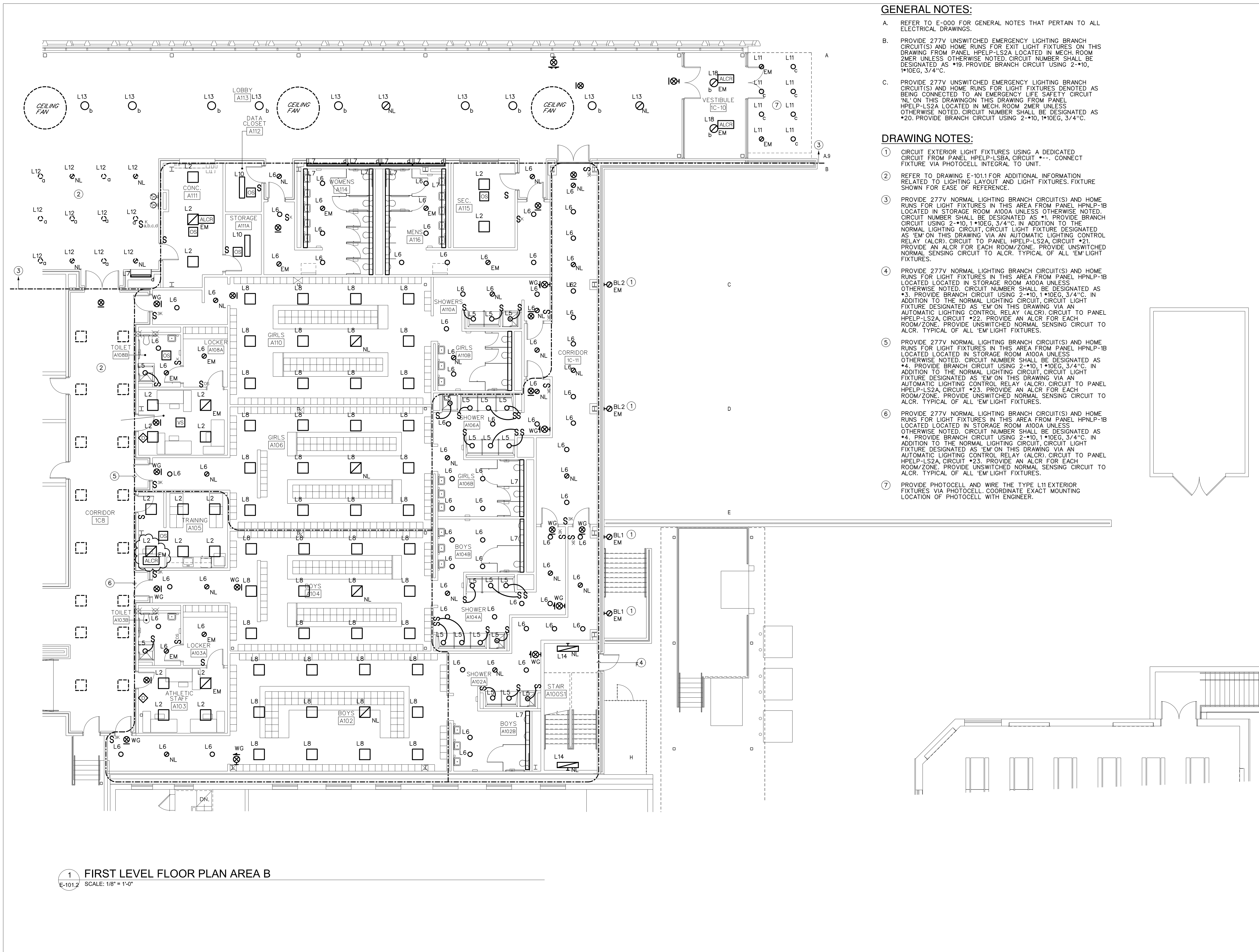
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DRAWING TITLE  
**BASEMENT LEVEL FLOOR PLAN AREA D LIGHTING**

**E-100.2**

BID SET

① BASEMENT LEVEL FLOOR PLAN AREA D  
E-100.2 SCALE: 1/8" = 1'-0"

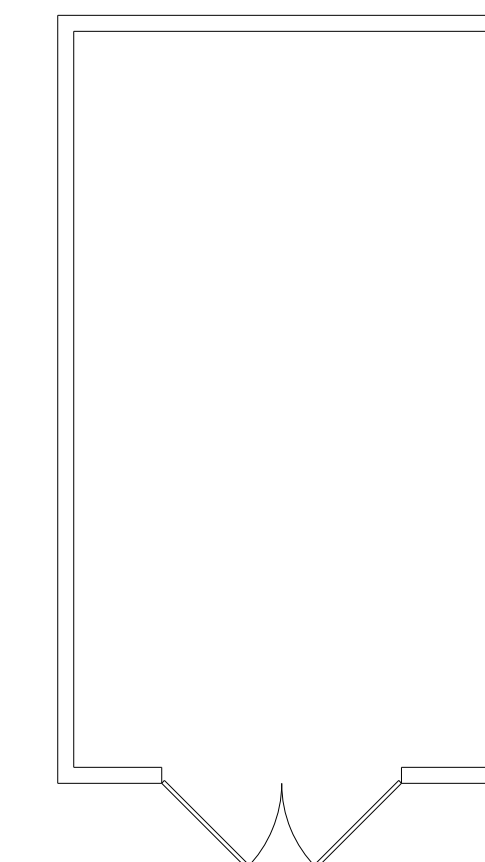


**GENERAL NOTES:**

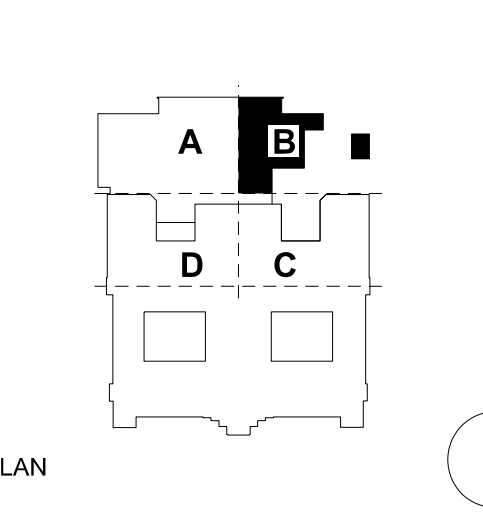
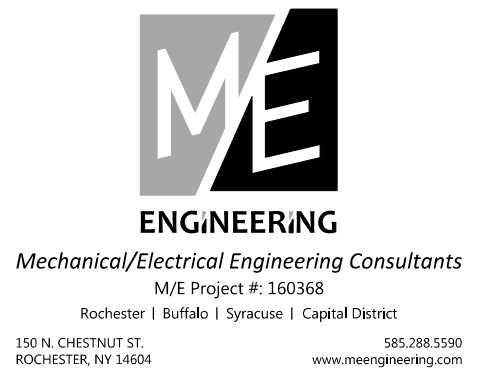
- A. REFER TO E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HP-ELP-LS2A LOCATED IN MECH. ROOM 2MER UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*19. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT "NL" ON THIS DRAWING FROM PANEL HP-ELP-LS2A LOCATED IN MECH. ROOM 2MER UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*20. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C.

**DRAWING NOTES:**

- ① CIRCUIT EXTERIOR LIGHT FIXTURES USING A DEDICATED CIRCUIT FROM PANEL HP-ELP-LSBA, CIRCUIT \*... CONNECT FIXTURE VIA PHOTOCELL INTEGRAL TO UNIT.
- ② REFER TO DRAWING E-101.1 FOR ADDITIONAL INFORMATION RELATED TO LIGHTING LAYOUT AND LIGHT FIXTURES. FIXTURE SHOWN FOR EASE OF REFERENCE.
- ③ PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HP-NLP-1B LOCATED IN STORAGE ROOM A100A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*1. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS "EM" ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR). CIRCUIT TO PANEL HP-ELP-LS2A, CIRCUIT \*21. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL "EM" LIGHT FIXTURES.
- ④ PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HP-NLP-1B LOCATED IN STORAGE ROOM A100A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*3. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS "EM" ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR). CIRCUIT TO PANEL HP-ELP-LS2A, CIRCUIT \*22. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL "EM" LIGHT FIXTURES.
- ⑤ PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HP-NLP-1B LOCATED IN STORAGE ROOM A100A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*4. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS "EM" ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR). CIRCUIT TO PANEL HP-ELP-LS2A, CIRCUIT \*23. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL "EM" LIGHT FIXTURES.
- ⑥ PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HP-NLP-1B LOCATED IN STORAGE ROOM A100A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS \*4. PROVIDE BRANCH CIRCUIT USING 2-#10, 1\*10EG, 3/4" C. IN ADDITION TO THE NORMAL LIGHTING CIRCUIT, CIRCUIT LIGHT FIXTURE DESIGNATED AS "EM" ON THIS DRAWING VIA AN AUTOMATIC LIGHTING CONTROL RELAY (ALCR). CIRCUIT TO PANEL HP-ELP-LS2A, CIRCUIT \*23. PROVIDE AN ALCR FOR EACH ROOM/ZONE. PROVIDE UNSWITCHED NORMAL SENSING CIRCUIT TO ALCR. TYPICAL OF ALL "EM" LIGHT FIXTURES.
- ⑦ PROVIDE PHOTOCELL AND WIRE THE TYPE L11 EXTERIOR FIXTURES VIA PHOTOCELL. COORDINATE EXACT MOUNTING LOCATION OF PHOTOCELL WITH ENGINEER.



1 FIRST LEVEL FLOOR PLAN AREA B  
E-101.2 SCALE: 1/8" = 1'-0"



RCS D  
James Monroe High School  
Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT # 26-16-00-01-7-999-019

164 Alexander Street  
Rochester, NY, 14607

REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/13/17

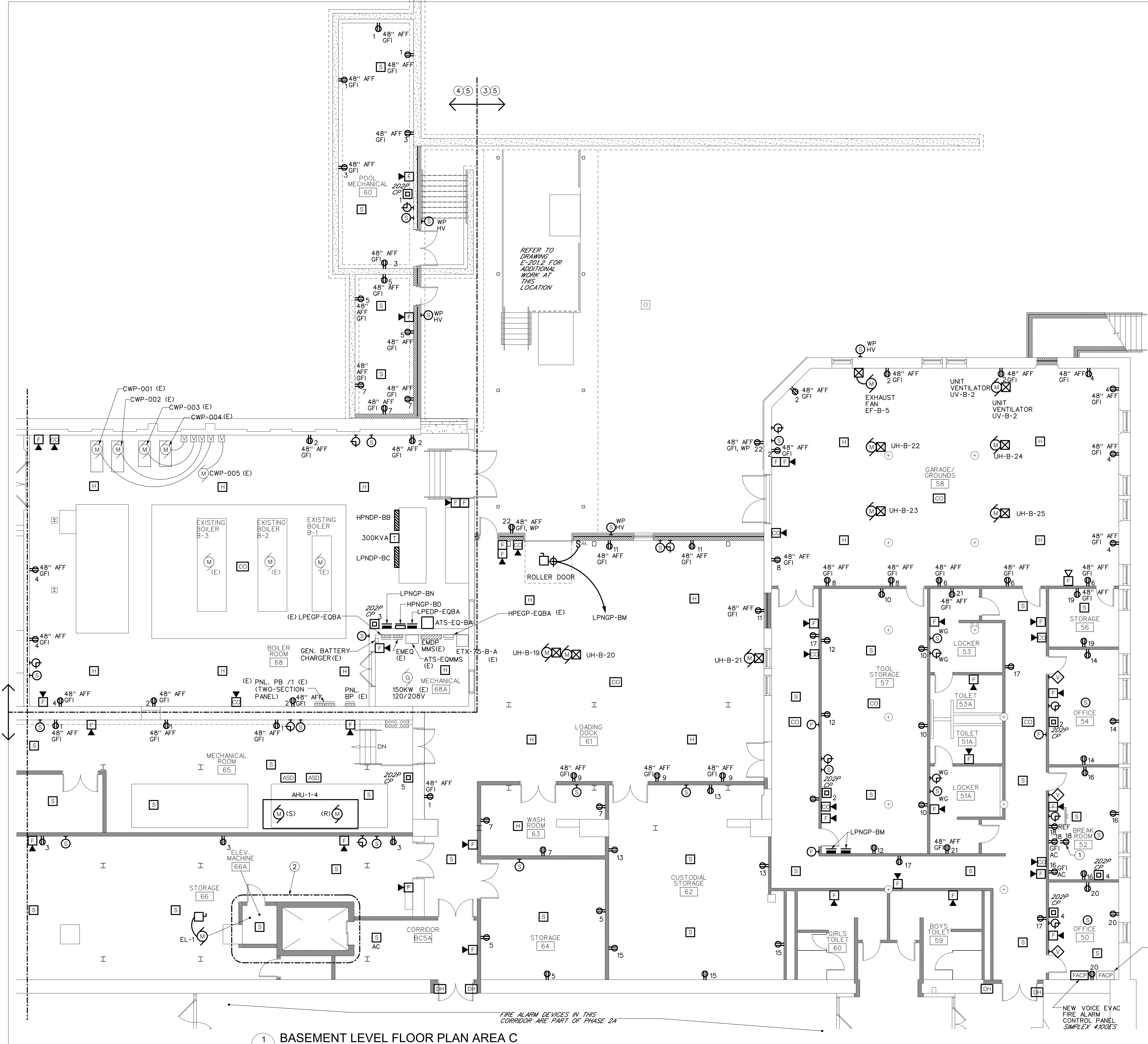
JOB NO.	1625
SCALE	AS NOTED
ISSUE DATE	06/30/17
DRAWN BY	IUN/DJP
CHECKED BY	DJP

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DRAWING TITLE  
**FIRST LEVEL FLOOR PLAN AREA B LIGHTING**

**E-101.2**





**GENERAL NOTES:**

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- B. COORDINATE LOCATION OF DEVICES WITH DWT EQUIPMENT AND DWT DRAWINGS. REFER TO DWT DRAWINGS FOR DATA DROP LOCATIONS AND QUANTITIES.
- C. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALLS ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.

**DRAWING NOTES:**

- 1 LOCATE RECEPTACLE FOR MICROWAVE IN MICROWAVE COMPARTMENT.
- 2 REFER TO ELEVATOR DETAILS ON DRAWING E-700 SERIES DRAWINGS FOR ADDITIONAL INFORMATION AND WORK.
- 3 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES SHOWN IN THIS AREA FROM PANEL LPNGP-BM UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 4 PROVIDE 120V NORMAL CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN IN THIS AREA FROM PANEL CP10 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND NOTED. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.

REFER TO DRAWING E-201.2 FOR ADDITIONAL WORK AT THIS LOCATION

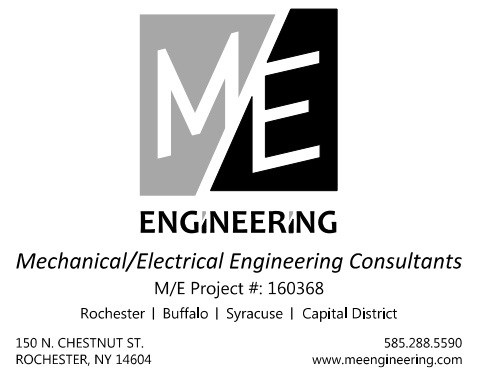
EXISTING FIRE ALARM CONTROL PANEL (E) SIMPLEX 4100ES

NEW VOICE EVAC FIRE ALARM CONTROL PANEL SIMPLEX 4100ES

1 BASEMENT LEVEL FLOOR PLAN AREA C  
E-200.1 SCALE: 1/8" = 1'-0"



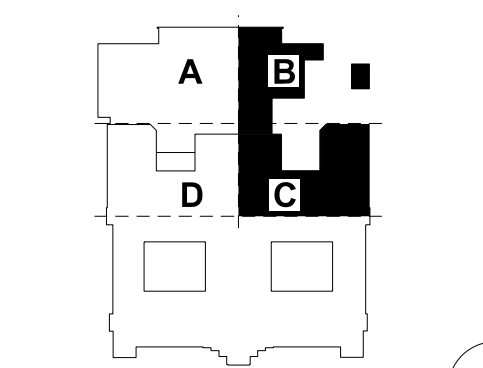
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KEY PLAN

RCSD  
James Monroe High School  
Rochester Schools  
Modernization Program  
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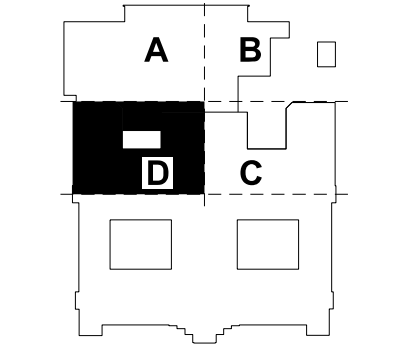
DRAWING TITLE  
**BASEMENT LEVEL FLOOR PLAN AREA C POWER & SS**

**E-200.1**

BID SET



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KEY PLAN

**RCS D**  
**James Monroe High School**  
**Rochester Schools**  
**Modernization Program**  
**Phase 2B**

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DRAWING TITLE  
**BASEMENT LEVEL**  
**FLOOR PLAN**  
**AREA D**  
**POWER & SS**

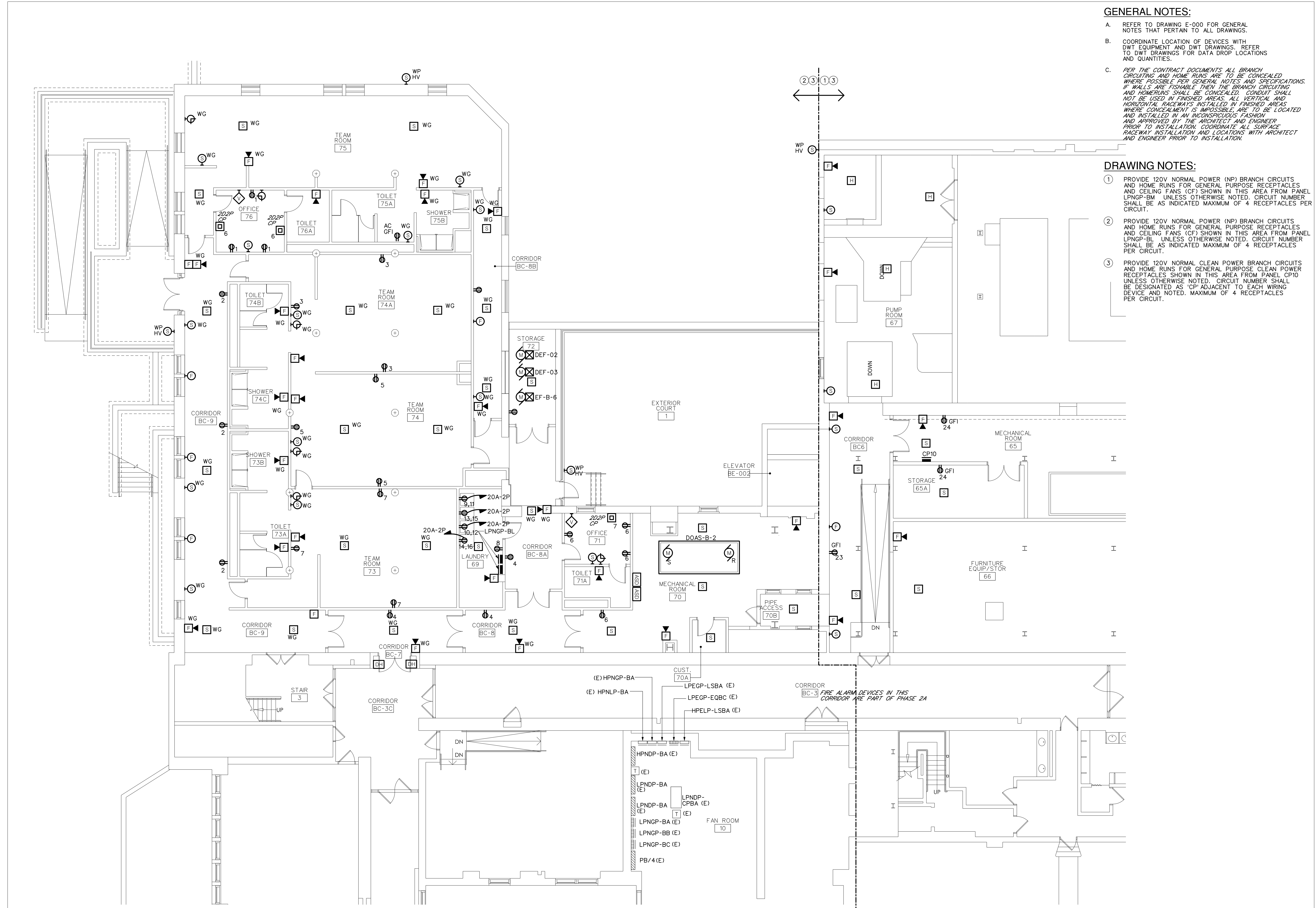
**E-200.2**

**GENERAL NOTES:**

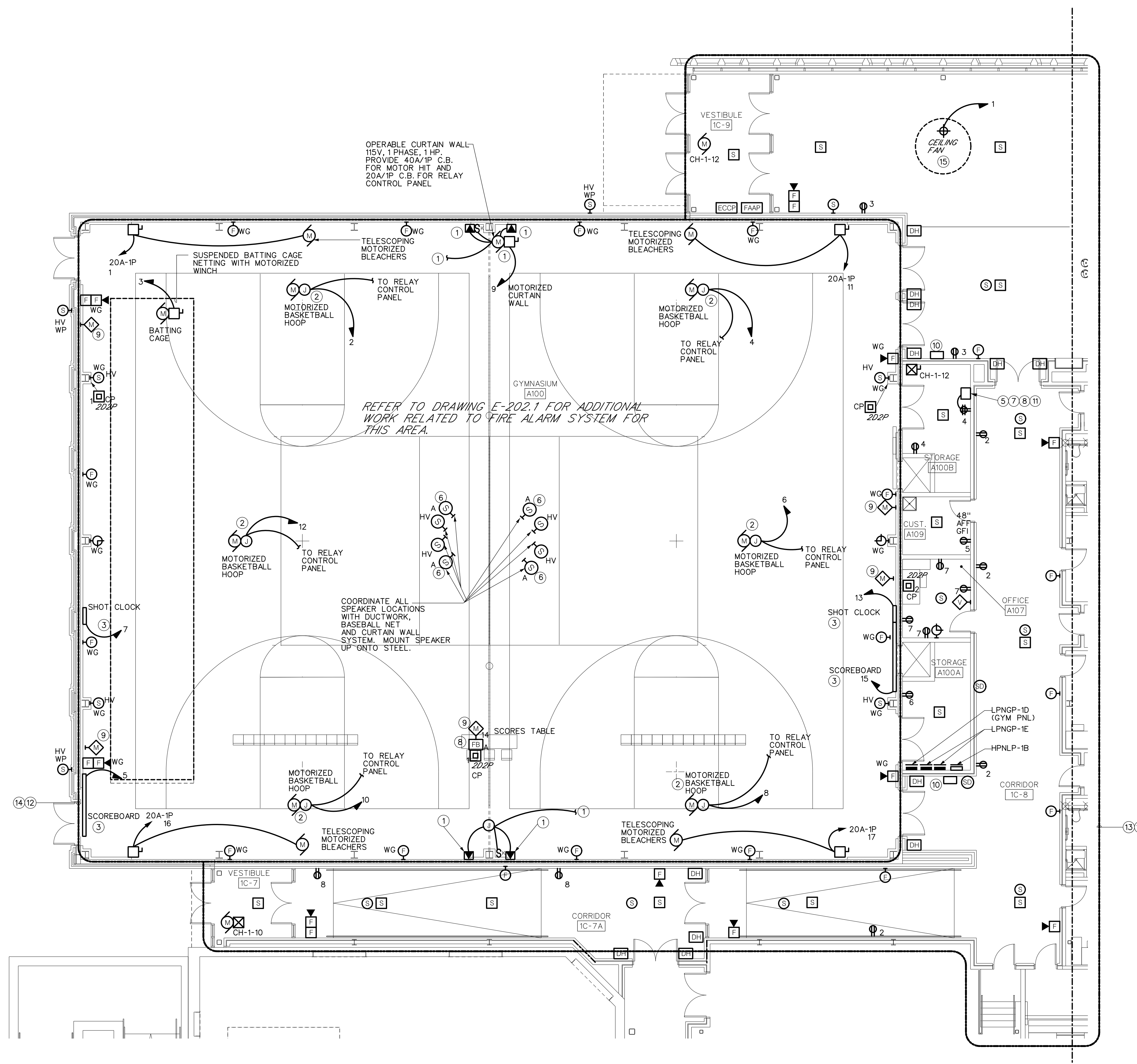
- REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- COORDINATE LOCATION OF DEVICES WITH DWT EQUIPMENT AND DWT DRAWINGS. REFER TO DWT DRAWINGS FOR DATA DROP LOCATIONS AND QUANTITIES.
- PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALLS ARE FISHPAIL THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE, ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.

**DRAWING NOTES:**

- PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LPNGP-BM UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LPNGP-BL UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- PROVIDE 120V NORMAL CLEAN POWER BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN IN THIS AREA FROM PANEL CP10 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND NOTED. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.



**1** BASEMENT LEVEL FLOOR PLAN AREA D  
E-200.2 SCALE: 1/8" = 1'-0"



OPERABLE CURTAIN WALL  
15V, 1 PHASE, 1 HP.  
PROVIDE 40A/1P C.B. FOR MOTOR HIT AND  
20A/1P C.B. FOR RELAY  
CONTROL PANEL

REFER TO DRAWING E-202.1 FOR ADDITIONAL  
WORK RELATED TO FIRE ALARM SYSTEM FOR  
THIS AREA.

COORDINATE ALL  
SPEAKER LOCATIONS  
WITH DUCTWORK,  
BASEBALL NET  
AND CURTAIN WALL  
SYSTEM. MOUNT SPEAKER  
UP ONTO STEEL.

1 FIRST FLOOR LEVEL FLOOR PLAN AREA A  
E-201.1 SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- B. COORDINATE LOCATION OF DEVICES WITH DWT EQUIPMENT AND DWT DRAWINGS. REFER TO DWT DRAWINGS FOR DATA DROP LOCATIONS AND QUANTITIES.
- C. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALLS ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOME RUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE, ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.

**DRAWING NOTES:**

- 1. INSTALL ALL G.C. FURNISHED OPERABLE CURTAIN WALL SYSTEM KEY SWITCHES, MOTION DETECTORS, LIMIT SWITCHES AND CONTROLLERS. PROVIDE ALL BRANCH CIRCUITING AND CONTROL WIRING BETWEEN SENSORS AND CONTROLLER.
- 2. PROVIDE ONE (1) 4" SQUARE JUNCTION BOX FOR EACH BASKETBALL BACKBOARD MOTOR RECEPTACLE. JUNCTION BOX COVER PLATE WITH MOUNTED NEMA 14-20 RECEPTACLE SHALL BE PROVIDED BY G.C. INSTALLED BY E.C. MOUNT WITHIN 3'-0" OF WINCH MOTOR ASSEMBLY. COORDINATE EXACT LOCATION OF WINCH RECEPTACLE WITH G.C. PRIOR TO ROUGHING. PROVIDE BRANCH CIRCUITING BETWEEN WINCH MOTOR RECEPTACLE AND RELAY CONTROL PANEL. PROVIDE ALL CONTROL WIRING TO KEY SWITCHES FURNISHED BY G.C.
- 3. PROVIDE TWO (2) SCOREBOARDS AND TWO (2) SHOT CLOCKS AS SPECIFIED. PROVIDE PROTECTIVE SHIELD FOR SCOREBOARD.
- 4. PROVIDE GYM PUBLIC ADDRESS SYSTEM (SOUND SYSTEM) PRIORITY RELAY.
- 5. PROVIDE PUBLIC ADDRESS SOUND SYSTEM FOR GYM. REFER TO RISER DIAGRAM FOR EQUIPMENT FOR ADDITIONAL WORK. VERIFY LOCATION PRIOR TO INSTALLATION. PROVIDE ALL NECESSARY EQUIPMENT IN ADDITION TO THE ABOVE TO ACCOMMODATE. PROVIDE A MINIMUM OF FOUR (4) FOUR HOUR VIDEO TAPED TRAINING SESSIONS FOR NEW GYM/STAGE SOUND SYSTEM.
- 6. PROVIDE GYM SOUND SYSTEM TYPE 'A' SPEAKER. COORDINATE EXACT LOCATION WITH ENGINEER PRIOR TO SPEAKER COLOR AND MOUNTING HARDWARE SHALL BE WHITE.
- 7. PROVIDE PAGING BRANCH CIRCUITING IN CONCEALED RACEWAY TO BUILDING WIDE PAGING AND INTERCOM SYSTEM TO ACCOMMODATE PRIORITY RELAY. REFER TO RISER DIAGRAMS FOR ADDITIONAL WORK.
- 8. PROVIDE REQUIRED GYM PUBLIC ADDRESS SYSTEM WIRING FROM RACK LOCATED AT STORAGE TO CONSOLE AT GYM. COORDINATE EXACT LOCATION OF CONSOLE.
- 9. PROVIDE MICROPHONE JACKS AND ASSOCIATED CABLING IN 1" C BACK TO GYM PUBLIC ADDRESS SYSTEM RACK LOCATED AT STAGE STORAGE.
- 10. PROVIDE FM HEARING ASSISTANCE SYSTEM WALL PLAQUE IN A CONSPICUOUS LOCATION. COORDINATE WITH PRIME PROFESSIONAL.
- 11. PROVIDE FM HEARING ASSISTANCE SYSTEM AND ANTENNA AND GROUND PLANE MOUNTED TO WALL. PROVIDE COAXIAL CABLING BACK TO RACK. AVOID METAL OBJECTS AND TEST SYSTEM LOCATIONS PRIOR TO ROUGHING. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND EQUIPMENT.
- 12. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES SHOWN IN THIS AREA (GYM) FROM PANEL LPNGP-1D UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 13. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN IN THIS AREA FROM PANEL CP10A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 14. PROVIDE 120V NORMAL CLEAN POWER BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN IN THIS AREA FROM PANEL CP10A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 15. ONE (1) CEILING FAN TO BE FURNISHED BY OWNER AS PART OF THE PHASE 2A INVENTORY. PROVIDE ALL WIRING AND CONTROLS TO ACCOMMODATE INSTALLATION.



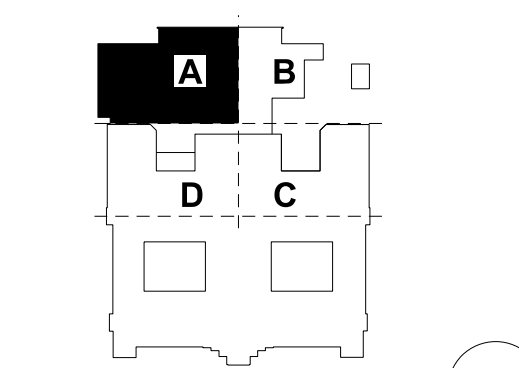
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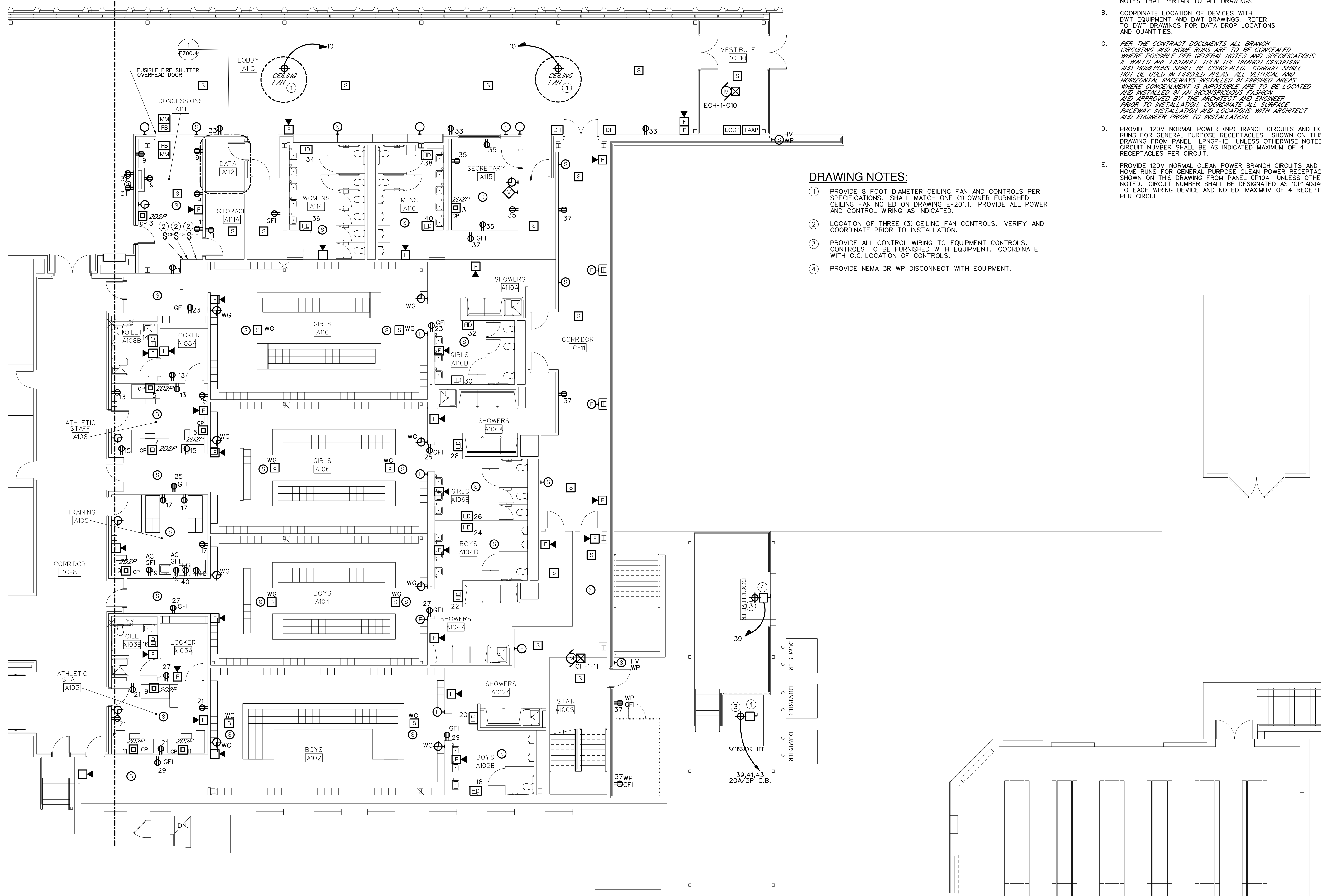
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DRAWING TITLE  
**FIRST LEVEL FLOOR PLAN AREA A POWER & SS**

**E-201.1**



**GENERAL NOTES:**

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- B. COORDINATE LOCATION OF DEVICES WITH DWT EQUIPMENT AND DWT DRAWINGS. REFER TO DWT DRAWINGS FOR DATA DROP LOCATIONS AND QUANTITIES.
- C. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALLS ARE FISHPAIL THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
- D. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL LPNGP-1E UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- E. PROVIDE 120V NORMAL CLEAN POWER BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL CP10A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND NOTED. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.

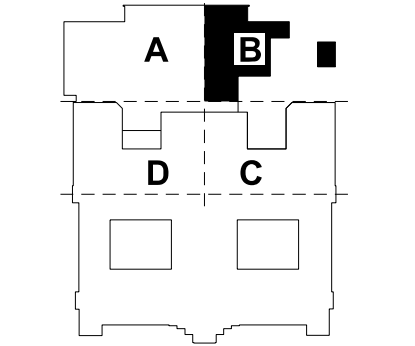
**DRAWING NOTES:**

- 1 PROVIDE 8 FOOT DIAMETER CEILING FAN AND CONTROLS PER SPECIFICATIONS. SHALL MATCH ONE (1) OWNER FURNISHED CEILING FAN NOTED ON DRAWING E-201.1. PROVIDE ALL POWER AND CONTROL WIRING AS INDICATED.
- 2 LOCATION OF THREE (3) CEILING FAN CONTROLS. VERIFY AND COORDINATE PRIOR TO INSTALLATION.
- 3 PROVIDE ALL CONTROL WIRING TO EQUIPMENT CONTROLS. CONTROLS TO BE FURNISHED WITH EQUIPMENT. COORDINATE WITH G.C. LOCATION OF CONTROLS.
- 4 PROVIDE NEMA 3R WP DISCONNECT WITH EQUIPMENT.

1 FIRST LEVEL FLOOR PLAN AREA B  
E-201.2 SCALE: 1/8" = 1'-0"



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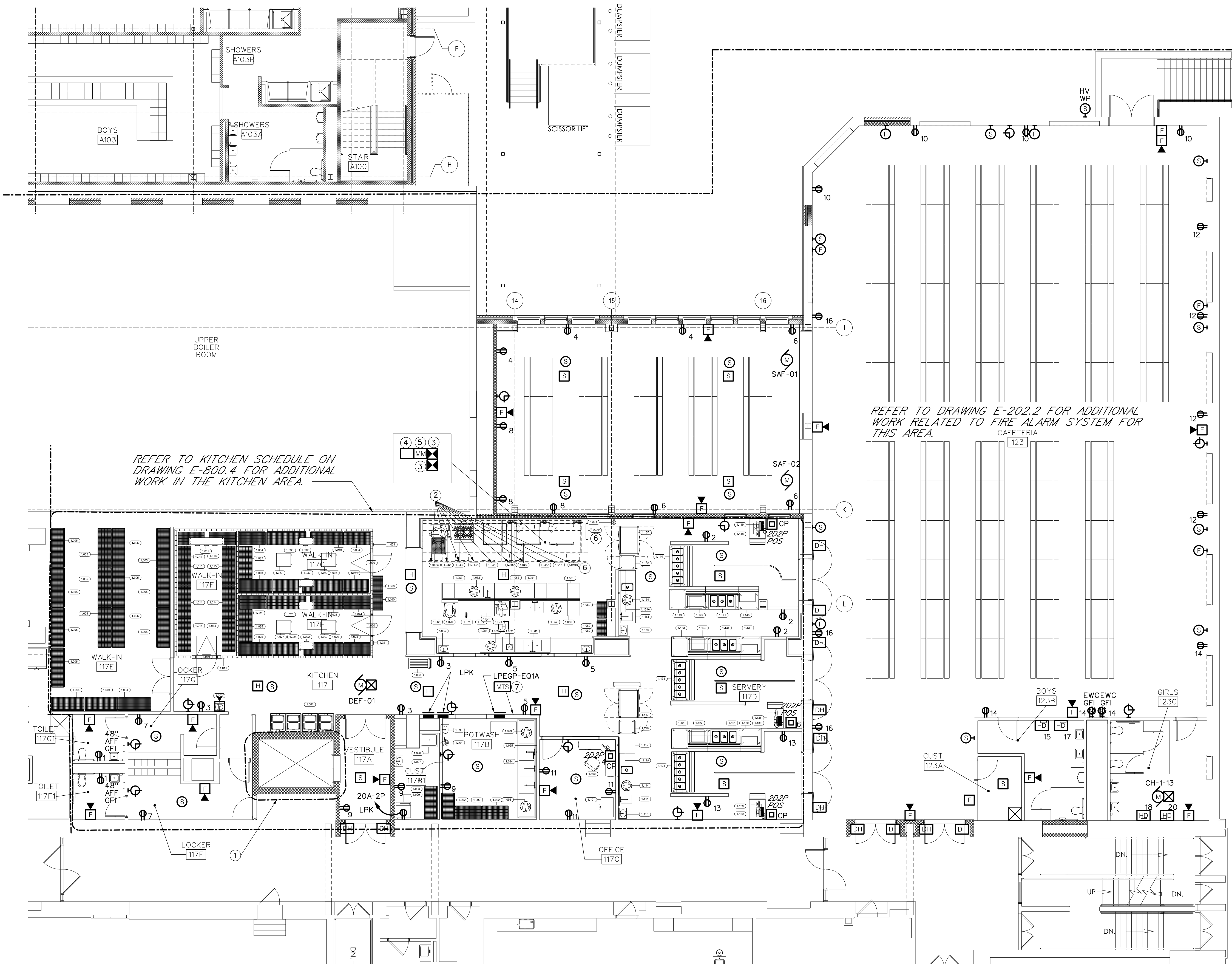
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**DRAWING TITLE  
FIRST LEVEL  
FLOOR PLAN  
AREA B  
POWER & SS**

**E-201.2**



**GENERAL NOTES:**

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- B. COORDINATE LOCATION OF DEVICES WITH DWT EQUIPMENT AND DWT DRAWINGS. REFER TO DWT DRAWINGS FOR DATA DROP LOCATIONS AND QUANTITIES.
- C. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALLS ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
- D. REFER TO DRAWING E201C FOR ADDITIONAL INFORMATION RELATED TO FIRE ALARM SYSTEM IN THE KITCHEN.
- E. REFER TO KITCHEN EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
- F. REFER TO FOOD SERVICES CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION.
- G. ALL DUPLEX RECEPTACLES IN KITCHEN AREA AND SERVING LINE AREA (EXCEPT REFRIGERATORS/FREEZERS) SHALL BE GFCl.
- H. PROVIDE BRANCH CIRCUITING AND HOMERUNS IN KITCHEN TO CONNECT ALL DUPLEX RECEPTACLES TO PANEL LPK. CIRCUIT DESIGNATION IS NOTED NEXT TO DEVICE.
- I. PROVIDE 120V NORMAL CLEAN POWER BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL CP10A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND NOTED. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.

**DRAWING NOTES:**

- 1 REFER TO ELEVATOR DETAILS ON DRAWING E-700 SERIES DRAWINGS FOR ADDITIONAL INFORMATION AND WORK.
- 2 INTERCEPT POWER FEEDER TO KITCHEN EQUIPMENT FOR WIRING THROUGH KITCHEN HOOD SHUTDOWN SYSTEM CONTACTOR. PROVIDE ALL REQUIRED ADDITIONAL BRANCH CIRCUITING TO ACCOMMODATE ROUTING THRU KITCHEN HOOD SHUTDOWN SYSTEM CONTACTOR.
- 3 PROVIDE ONE (1) 100A, 12-POLE CONTACTOR AND ONE (1) 30A, 12-POLE CONTACTOR TO ACCOMMODATE KITCHEN HOOD SHUTDOWN SYSTEM AND EQUIPMENT UNDER THE HOOD. COORDINATE LOCATION IN FIELD WITH ENGINEER.
- 4 PROVIDE KITCHEN HOOD SHUTDOWN SYSTEM. REFER TO RISER DIAGRAM ON DRAWING E-700.4. FIRE SUPPRESSION SYSTEM FURNISHED BY KITCHEN CONTRACTOR.
- 5 PROVIDE MONITORING MODULE AND CONNECT FIRE SUPPRESSION SYSTEM TO FACP.
- 6 PROVIDE ALL BRANCH CIRCUITING REQUIRED TO CONNECT MISCELLANEOUS HOOD LIGHTING AND CONTROL THROUGH KITCHEN HOOD SHUTDOWN SYSTEM.
- 7 PROVIDE MANUAL TRANSFER SWITCH. REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.

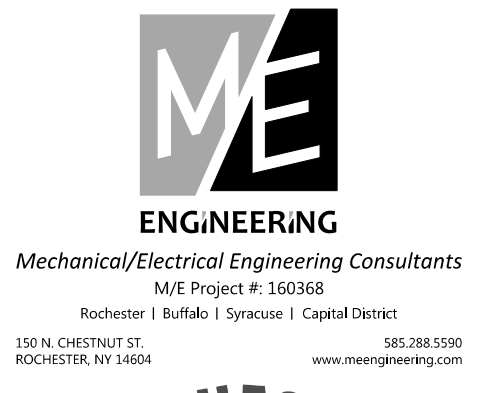
REFER TO DRAWING E-202.2 FOR ADDITIONAL WORK RELATED TO FIRE ALARM SYSTEM FOR THIS AREA.

REFER TO KITCHEN SCHEDULE ON DRAWING E-800.4 FOR ADDITIONAL WORK IN THE KITCHEN AREA.

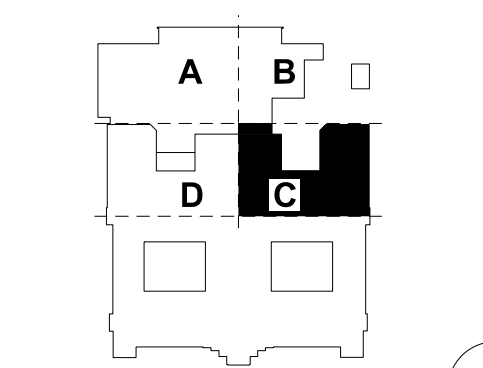
1 FIRST LEVEL FLOOR PLAN AREA C  
E-201.3 SCALE: 1/8" = 1'-0"



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KEY PLAN

RCS  
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Rochester Schools  
Modernization Program  
Phase 2B

SED #: 26-16-00-01-0-107-030  
DWT #: 26-16-00-01-7-999-019

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Rochester, NY, 14607

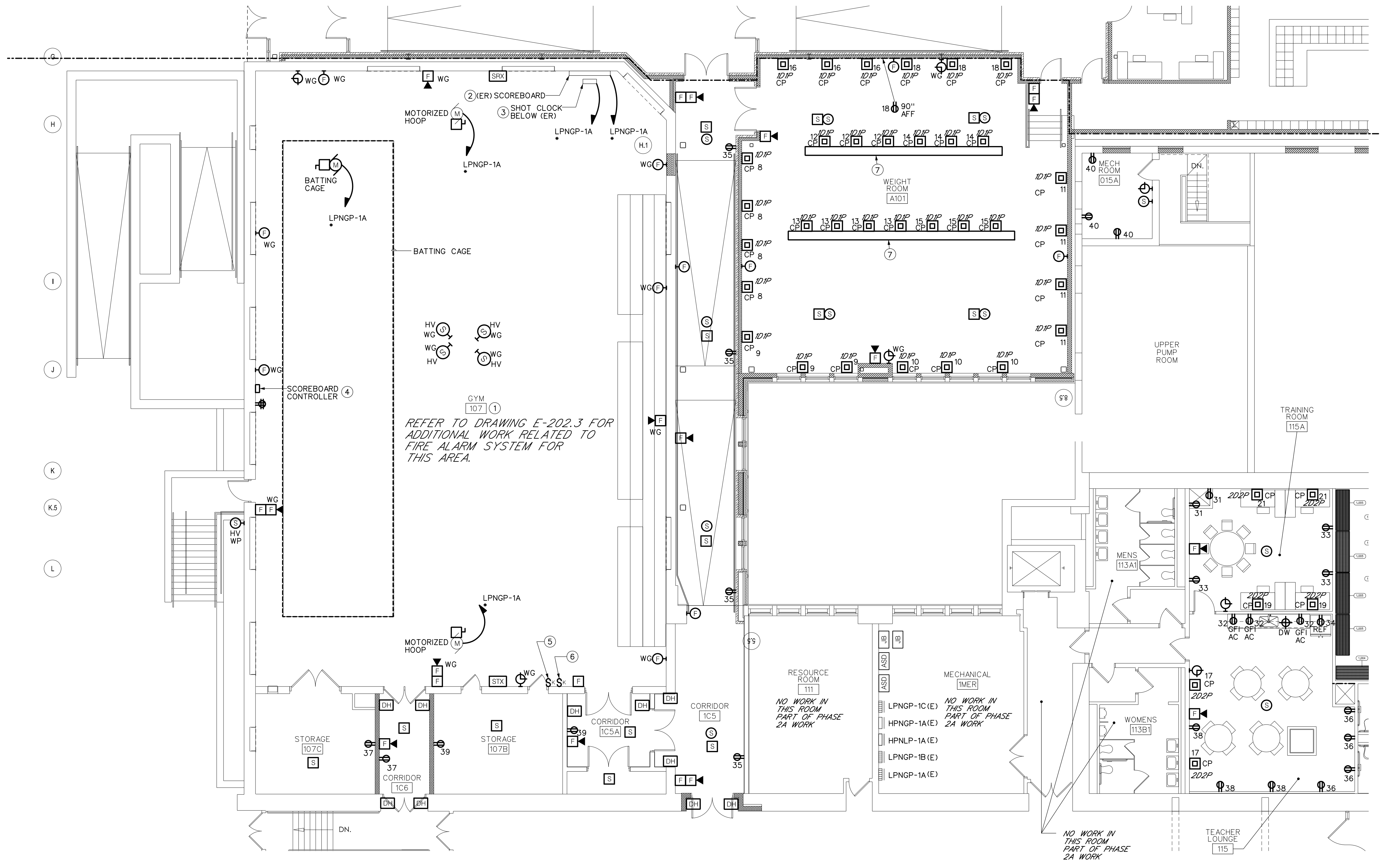
REV. #	DESCRIPTION	DATE
1	ADDENDUM #1	07/13/17

JOB NO.	1625
SCALE	AS NOTED
ISSUE DATE	06/30/17
DRAWN BY	IUN/DJP
CHECKED BY	DJP

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DRAWING TITLE  
**FIRST LEVEL FLOOR PLAN AREA C POWER & SS**

**E-201.3**



**GENERAL NOTES:**

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- B. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL LPNGP-1C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- C. PROVIDE 120V NORMAL CLEAN POWER BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL CP10 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND NOTED. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.

**DRAWING NOTES:**

- 1. INSTALL ALL NEW HORIZONTAL SURFACE CONDUIT RUNS BEHIND PADDING WHERE POSSIBLE. RUN ALL VERTICAL SURFACE CONDUITS IN A NEAT MANNER. CONCEAL WHERE POSSIBLE.
- 2. REFURBISH, CLEAN, RELAMP AND REINSTALL EXISTING SCOREBOARD.
- 3. REFURBISH, CLEAN, RELAMP AND REINSTALL EXISTING SHOT CLOCK.
- 4. PROVIDE 3/4" CONDUIT FROM SCOREBOARD CONTROLLER TO SCOREBOARD AND SHOT CLOCK. PROVIDE CONTROL WIRING PER MANUFACTURER'S REQUIREMENTS.
- 5. PROVIDE RAISE AND LOWER SWITCH FOR MOTORIZED HOOP (NORTH) AND ALL CONTROL WIRING FROM MOTORIZED HOOP.
- 6. PROVIDE RAISE AND LOWER SWITCH FOR MOTORIZED HOOP (SOUTH) AND ALL CONTROL WIRING FROM MOTORIZED HOOP.
- 7. PROVIDE DIAMOND PLATE, 6"x6", .080" THICK, POLISHED SEMI-FLAT MIRROR FINISH, CARBID CURE CABLE MANAGEMENT RACEWAY SYSTEM TO ACCOMMODATE EQUIPMENT WIRING. LENGTHS ARE PER DRAWINGS. VERIFY ALL LENGTH SIZES PRIOR TO ORDERING.

**1** FIRST LEVEL FLOOR PLAN AREA D  
E-201.4 SCALE: 1/8" = 1'-0"



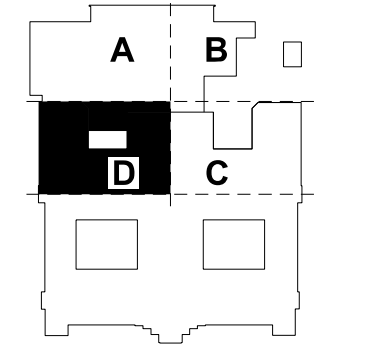
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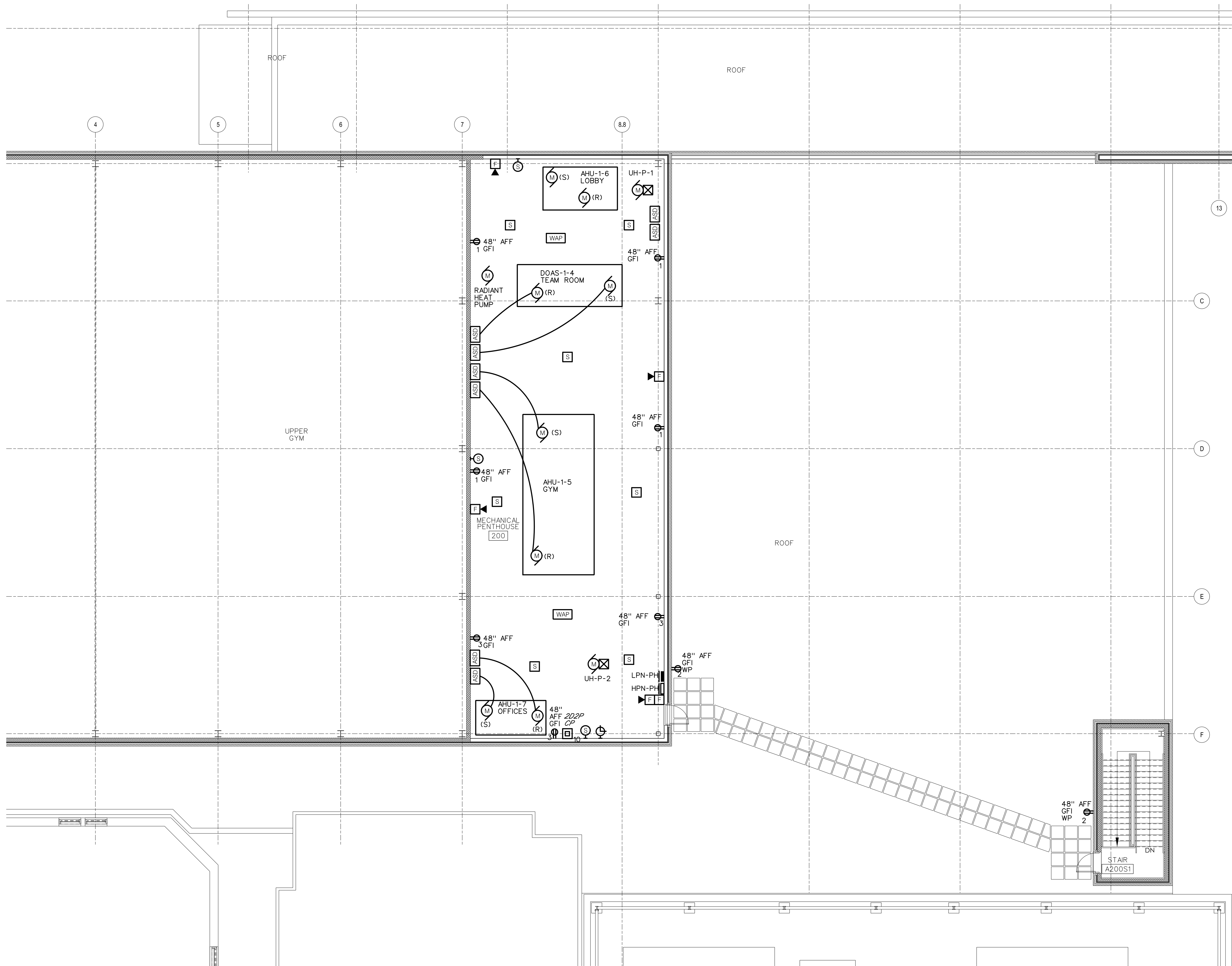
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DRAWING TITLE  
**FIRST LEVEL FLOOR PLAN AREA D POWER & SS**

**E-201.4**



**GENERAL NOTES:**

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL DRAWINGS.
- B. COORDINATE LOCATION OF DEVICES WITH DWT EQUIPMENT AND DWT DRAWINGS.
- C. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALLS ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
- D. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL LPN-PH UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE AS INDICATED MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- E. PROVIDE 120V NORMAL CLEAN POWER BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES SHOWN ON THIS DRAWING FROM PANEL CP10A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS "CP" ADJACENT TO EACH WIRING DEVICE AND NOTED. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.



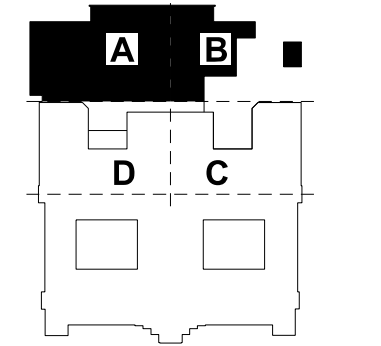
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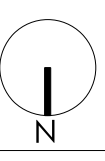
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Phase 2B

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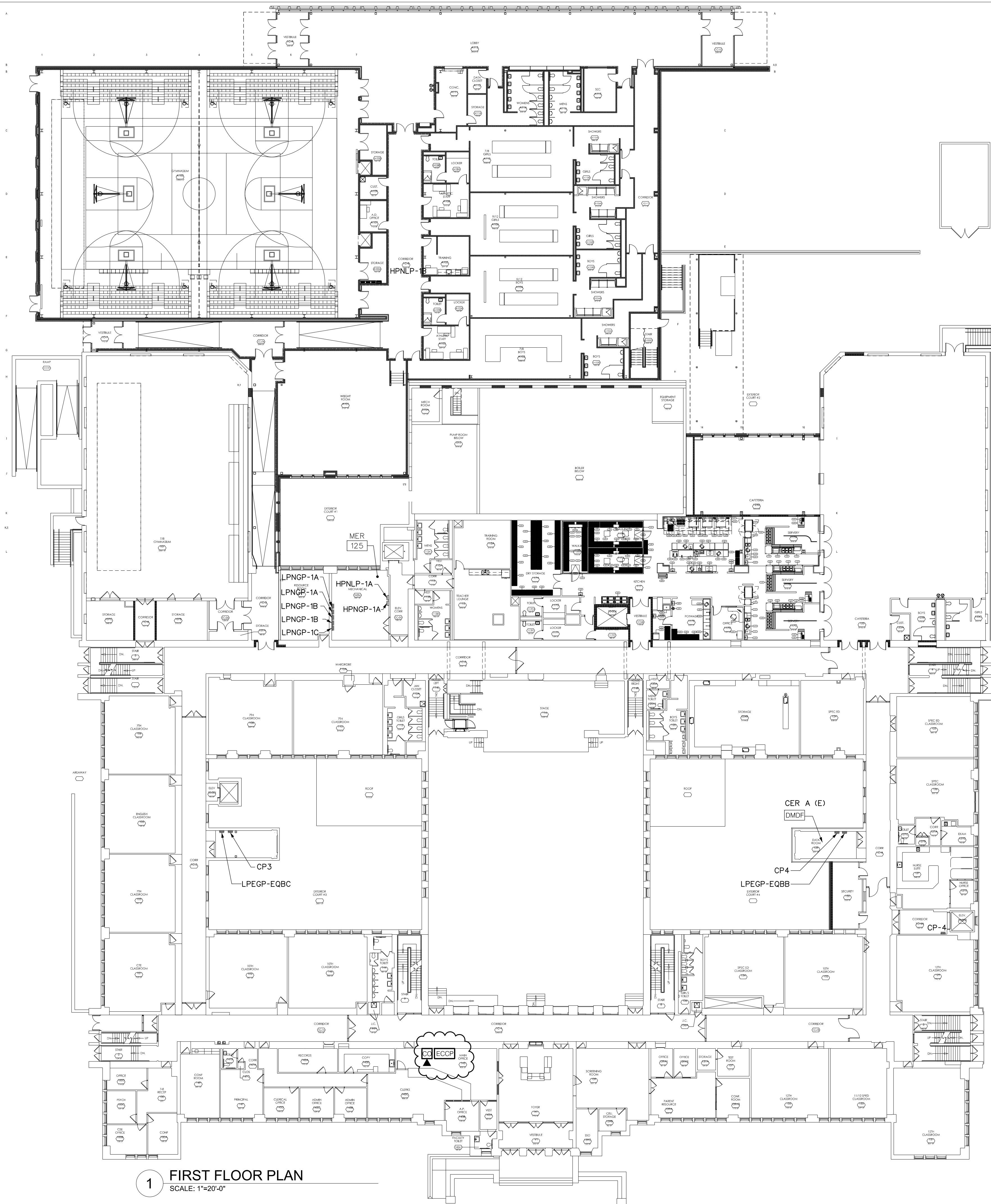
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DRAWING TITLE  
**PENTHOUSE  
PLAN  
AREAS A & B  
POWER & SS**

**E-203.1**

BID SET

1 ROOF LEVEL PLAN AREAS A & B  
E-204.1 SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR PLAN**  
SCALE: 1"=20'-0"

**GENERAL NOTES:**  
A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.



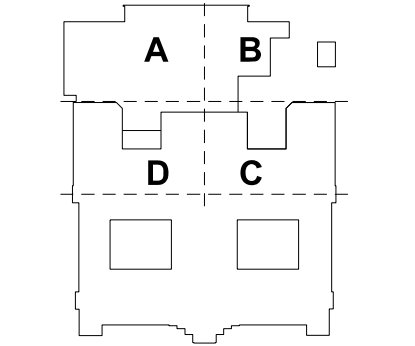
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Rochester Schools  
Modernization Program  
Phase 2B

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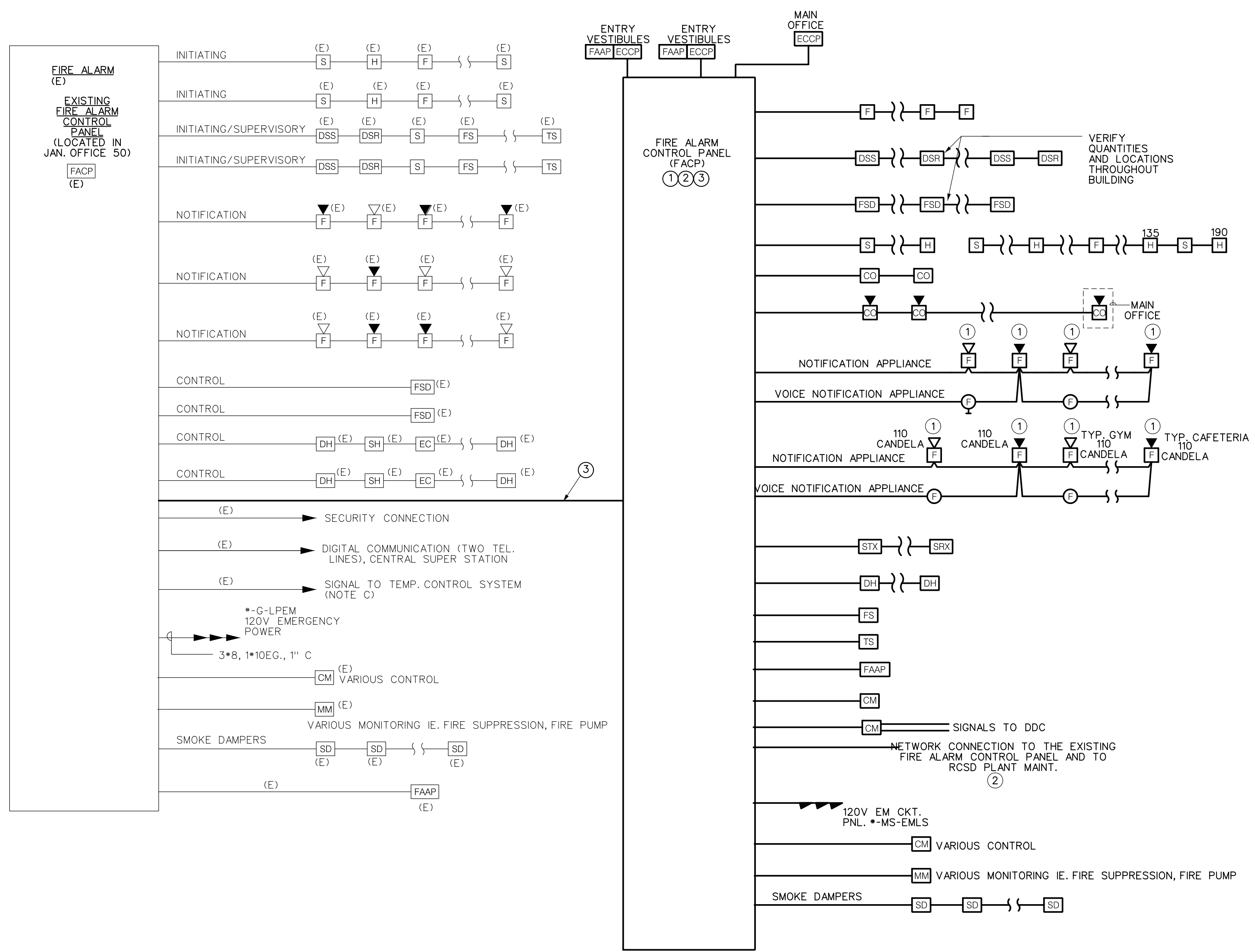
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DRAWING TITLE  
**OVERALL FIRST FLOOR PLAN EXISTING POWER & SS**

**E-401.1**





**GENERAL NOTES:**

- WIRING INDICATED ON THE RISER DIAGRAM IS DIAGRAMMATIC ONLY, AND IS NOT INTENDED TO INDICATE ROUTING OR QUANTITIES OF WIRES REQUIRED. PROVIDE WIRING FOR A COMPLETE SYSTEM AS REQUIRED BY SYSTEM MANUFACTURER. ALL DEVICES MAY NOT BE INDICATED ON RISER DIAGRAM; REFER TO FLOOR PLAN FOR QUANTITIES AND LOCATIONS OF DEVICES.
- NOT ALL INTERCONNECTING WIRING IS INDICATED HERE, SUCH AS BETWEEN ELEVATOR LOBBY SMOKE DETECTORS AND ELEVATOR CONTROLLER. REFER TO SPECIFICATIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE FORM C RELAY OUTPUT, TO CHANGE STATE UPON ANY FIRE ALARM ACTIVATION, FOR TEMPERATURE CONTROL SYSTEM SIGNAL (WIRING BY T.C. SUBCONTRACTOR).
- ADD EXPANSION PANEL TO EXISTING FACP.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ALL FIRE ALARM WIRING SHALL BE INSTALLED IN EMT CONDUIT SYSTEM.

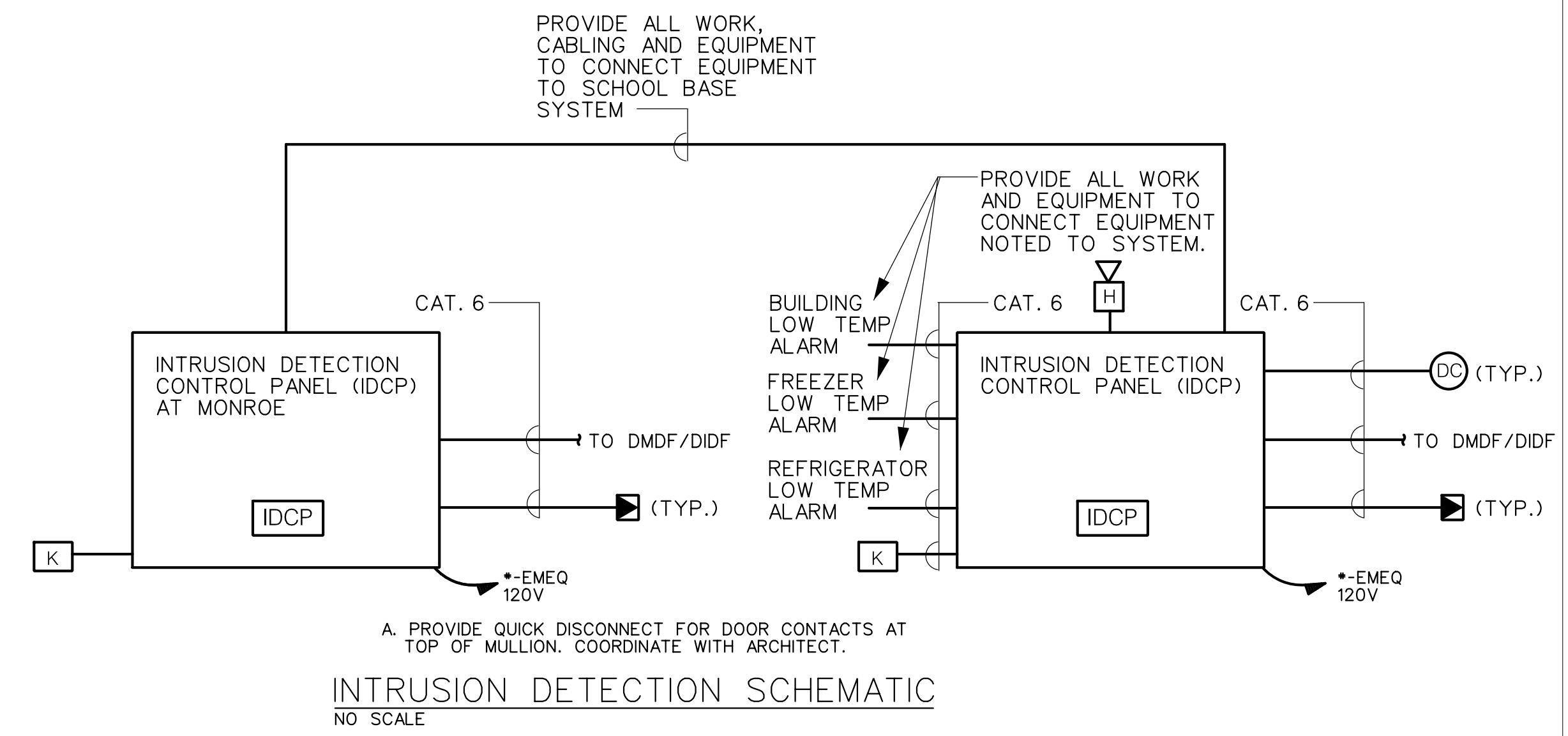
**DRAWING NOTES:**

- PROVIDE SYNCHRONIZATION OF FIRE ALARM DEVICES PER NFPA.
- PROVIDE NETWORK CARDS TO ALLOW FOR NETWORK CONNECTIONS.
- PROVIDE ALL WORK AND MATERIAL TO CONNECT NEW SIMPLEX VOICE EVACUATION FIRE ALARM SYSTEM IN ADDITION TO EXISTING SIMPLEX 4100ES SYSTEM.

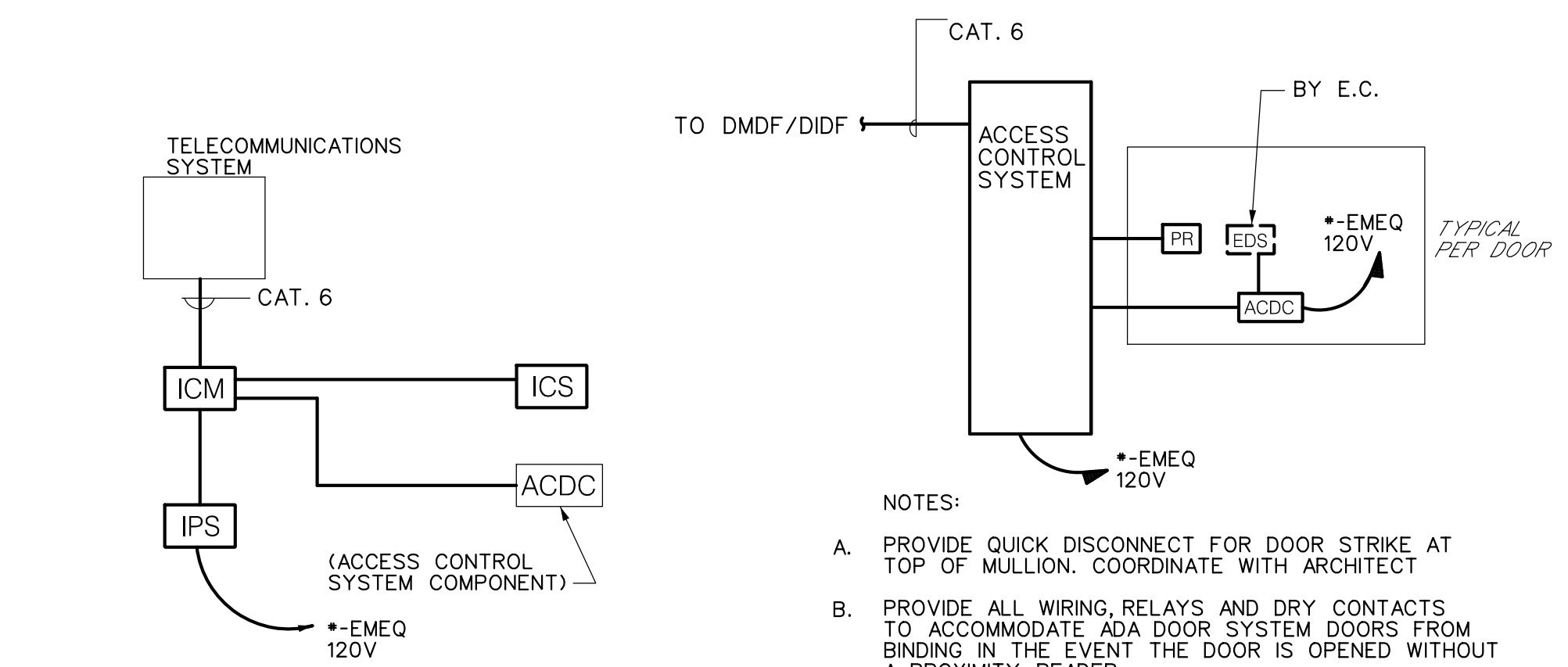
**FIRE ALARM RISER DIAGRAM - EXPANSION**  
NOT TO SCALE

**GENERAL NOTES:**

- REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.

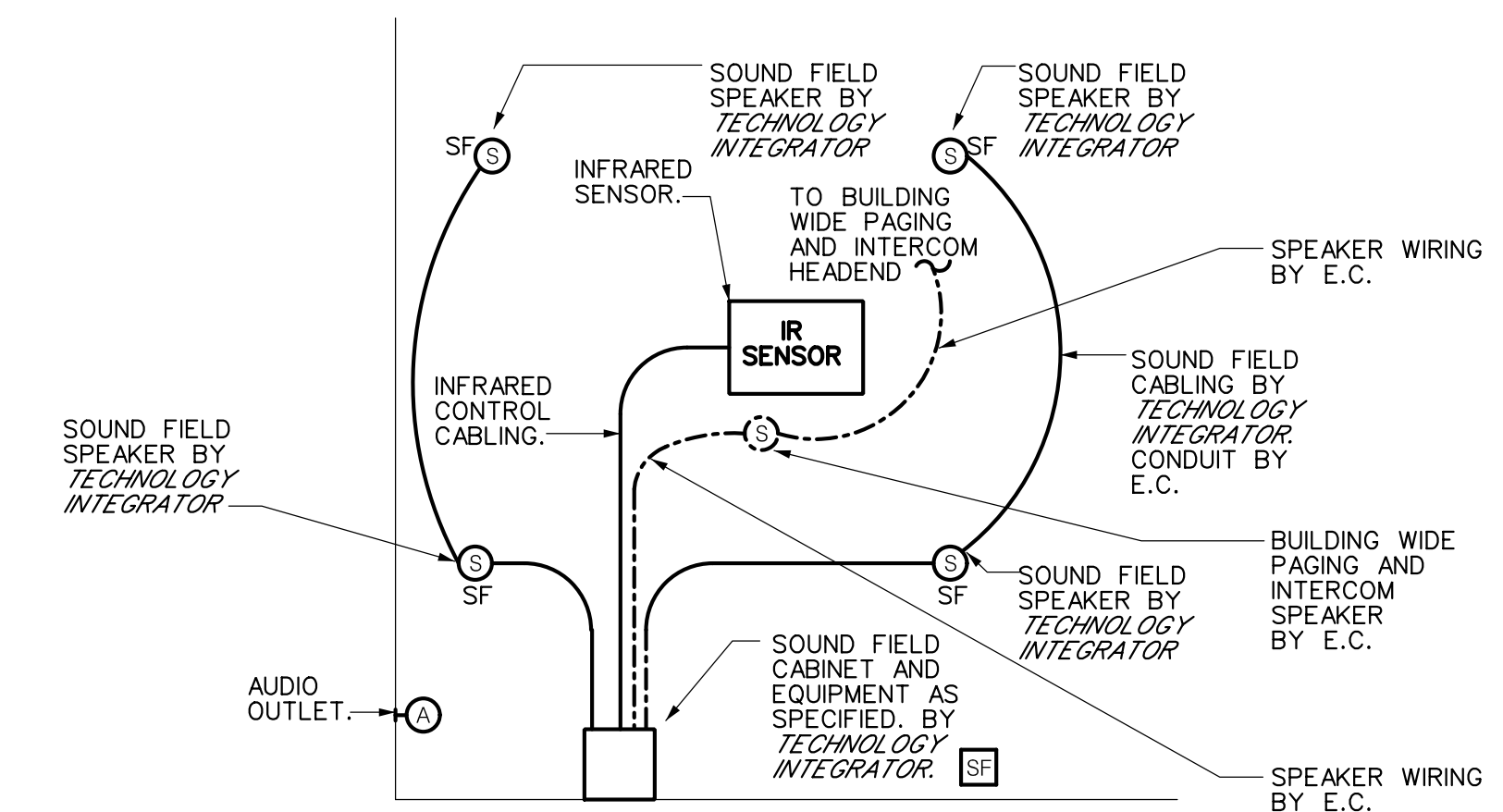


**INTRUSION DETECTION SCHEMATIC**  
NO SCALE



**AUDIO ENTRY SYSTEM RISER**  
NOT TO SCALE

**ACCESS CONTROL SCHEMATIC**  
NO SCALE



**DETAIL NOTES:**

- CLASSROOM AMPLIFICATION SYSTEM IS TO BE PROVIDED BY TECHNOLOGY INTEGRATOR.
- ALL CONDUIT AND POWER TO CLASSROOM AMPLIFICATION IS BY ELECTRICAL CONTRACTOR.
- TAKEOVER RELAY FOR CLASSROOM AMPLIFICATION INSTRUCTION SOUND SYSTEM FOR PAGE OVERRIDE OF SIGNALS IS PART OF CLASSROOM AMPLIFICATION HEADEND EQUIPMENT. PAGING SIGNALS OF P/A SYSTEM SHALL BE ROUTED TO THE SPEAKERS IN THE AREA INDEPENDANT OF THE LOCAL AMPLIFIER BEING ON OR OFF. MICROPHONE JACKS ARE LOCATED ON PLANS, PROVIDE SURFACE RACEWAY AS REQUIRED. PROVIDE SPEAKER WIRING FROM BUILDING WIDE PAGING AND INTERCOM SPEAKER IN ROOM TO CLASSROOM AMPLIFICATION SYSTEM AS NOTED.

**TYPICAL CLASSROOM AMPLIFICATION LAYOUT**  
NOT TO SCALE



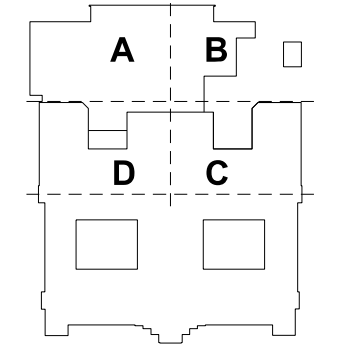
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KEY PLAN

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**Phase 2B**

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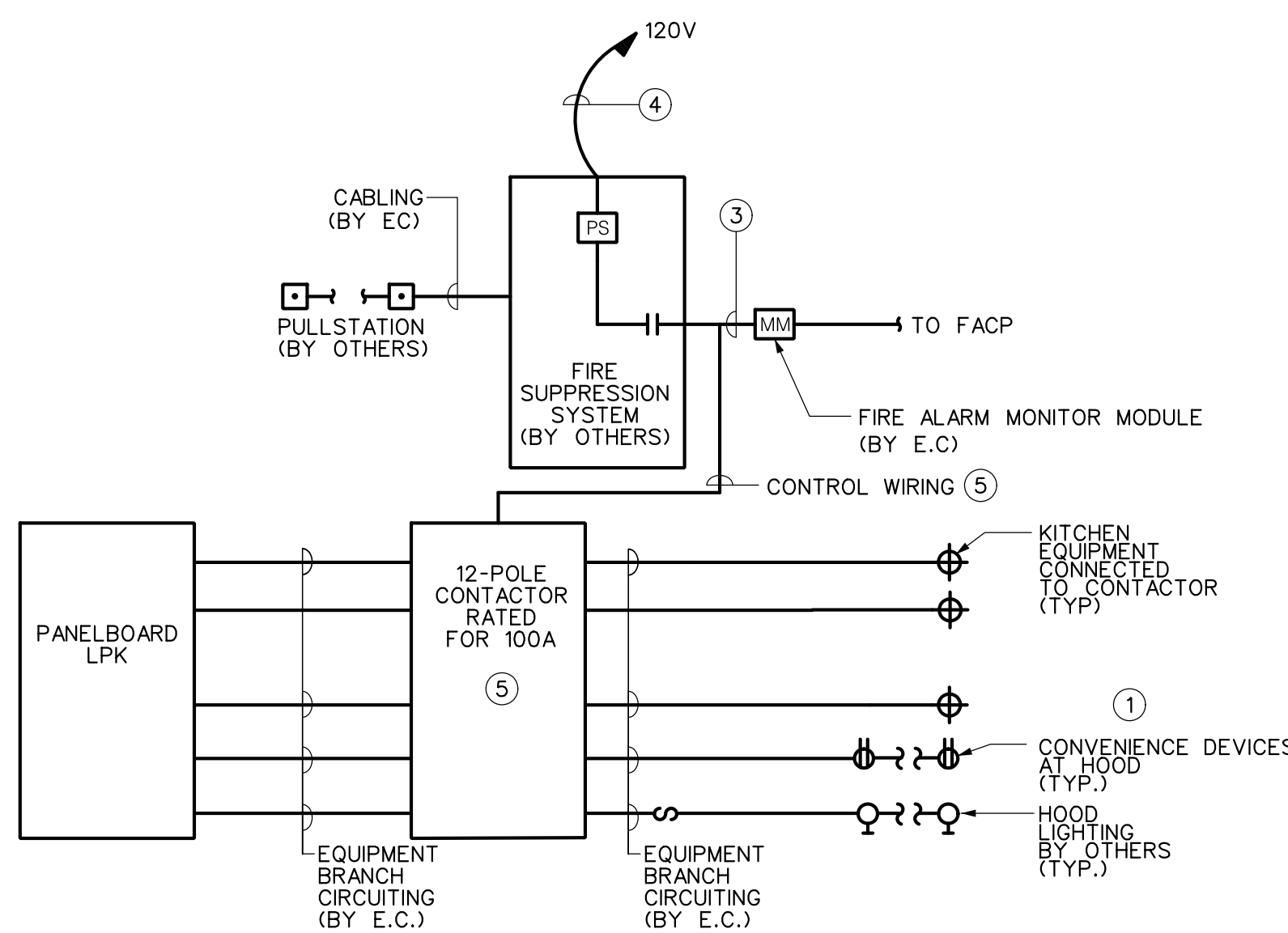
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**DETAILS**

**E-700.2**

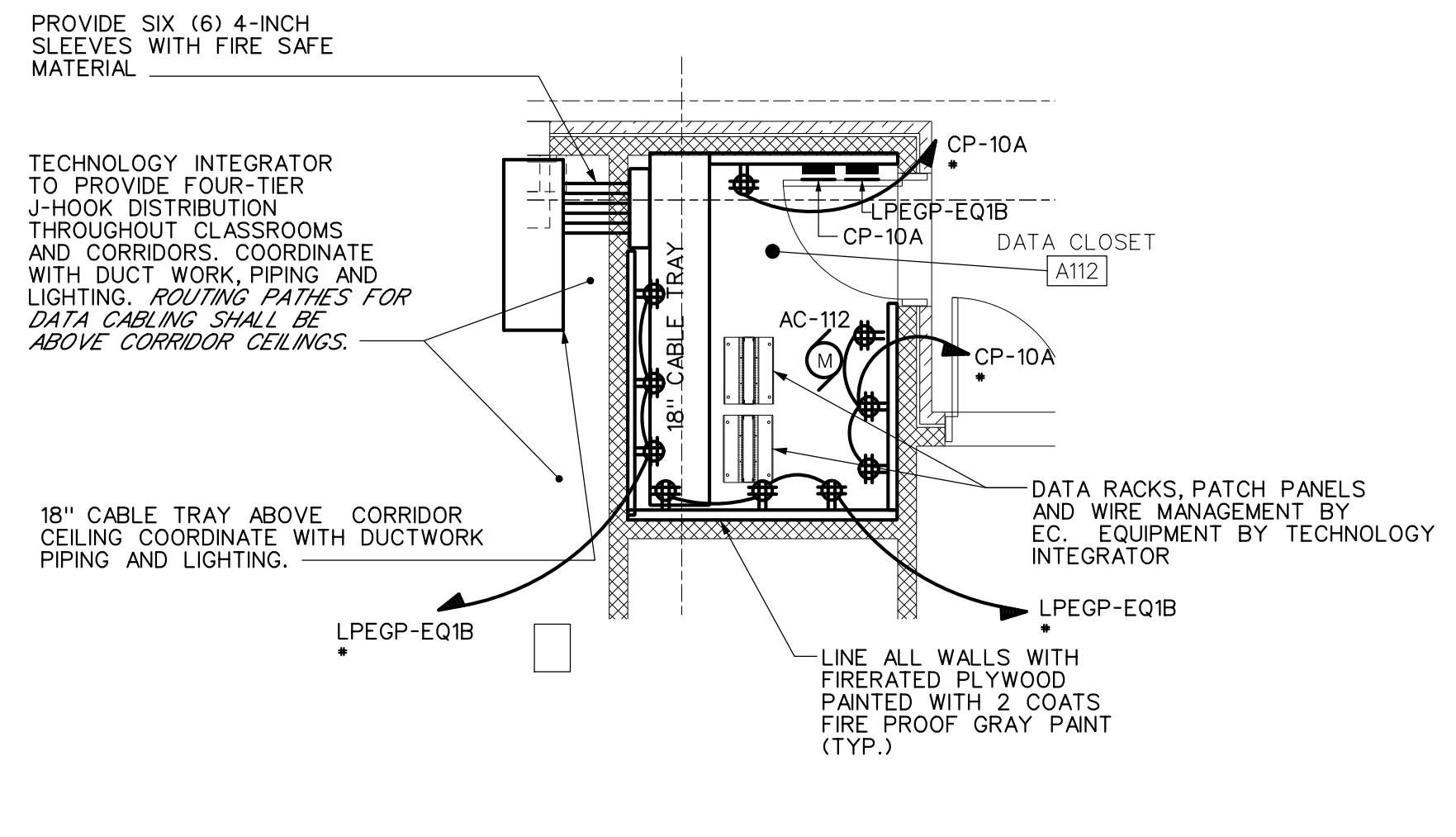
BID SET



**DETAIL NOTES:**

- 1 QUANTITY AND SIZE OF KITCHEN HOOD EQUIPMENT LOADS VARIES. REFER TO NEW FLOOR PLAN ON THIS DRAWING FOR SIZES AND QUANTITIES.
- 2 PROVIDE CIRCUIT BREAKER TO MATCH EXISTING PANELBOARD CONSTRUCTION AND KAIC RATING.
- 3 PROVIDE 120V CONTROL BRANCH CIRCUITING TO CONNECT MICROSWITCH FROM FIRE ALARM RELAY AT FIRE SUPPRESSION SYSTEM PANEL TO SHUNT TRIP BREAKER.
- 4 PROVIDE 120V POWER BRANCH CIRCUITING TO CONNECT FIRE SUPPRESSION SYSTEM PANEL.
- 5 PROVIDE 120V CONTROL BRANCH CIRCUITING FROM FIRE SUPPRESSION PANEL TO KITCHEN HOOD EQUIPMENT SHUTDOWN CONTACTOR.

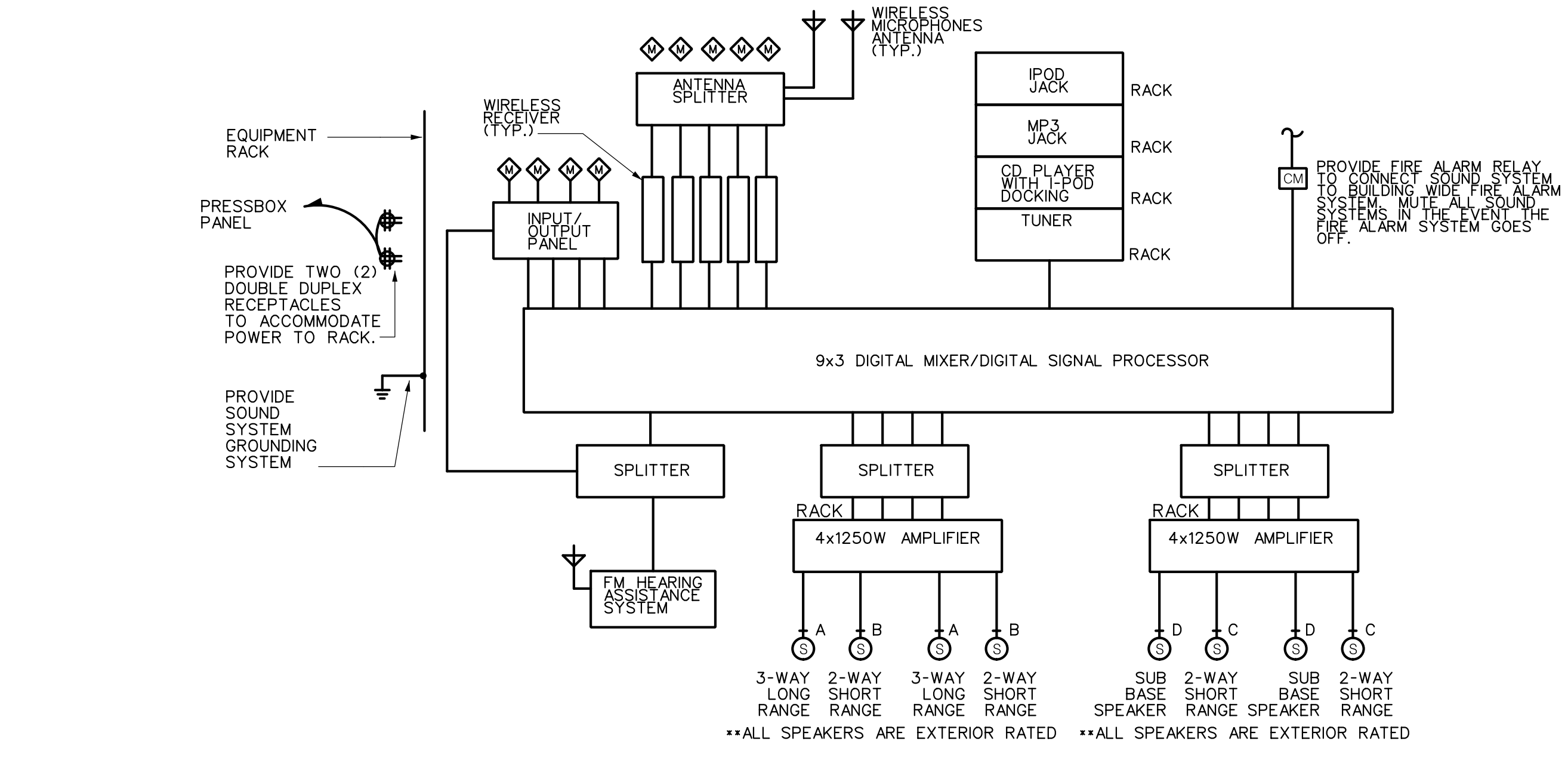
**KITCHEN HOOD EQUIPMENT SHUTDOWN RISER**  
SCALE: NONE



**DETAIL NOTES:**

- A. EXACT LAYOUT WILL VARY BASED UPON ROOM LOCATION.
- B. NETWORK EQUIPMENT IN EACH RACK IS BY TECHNOLOGY INTEGRATOR.
- C. PROVIDE TELCOM GROUNDING SYSTEM AT ALL TELECOM SYSTEMS RACKS PER 260526 SPECIFICATION.
- D. LOCATE DUPLEX RECEPTACLES AT 5'-0" AFF, UNLESS NOTED OTHERWISE.

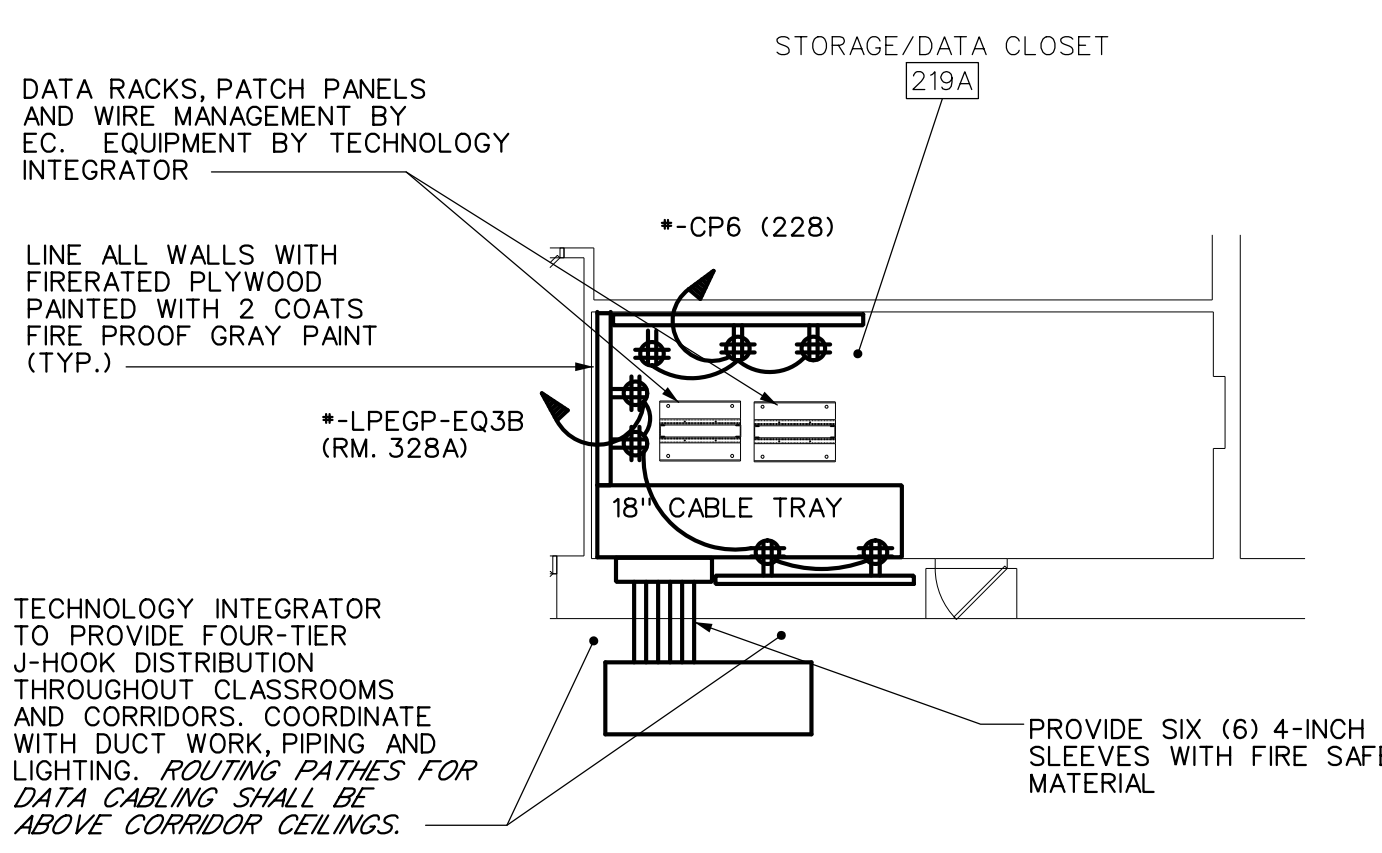
1 PARTIAL FIRST FLOOR PLAN (DATA CLOSET 112A)  
SCALE: NONE



**PUBLIC ADDRESS SOUND SYSTEM RISER DIAGRAM GENERAL NOTES:**

- A. RISER IS DIAGRAMATIC ONLY; WIRING, TYPES OF WIRING, QUANTITIES, QUANTITIES OF EQUIPMENT, SIZES, TYPES SHALL BE AS CALLED FOR IN CONTRACT DOCUMENTS, MANUFACTURERS RECOMMENDATIONS AND APPLICABLE CODES. REFER TO SPECIFICATIONS BOM (BILL OF MATERIALS) FOR ALL EQUIPMENT AND QUANTITIES.
- B. RACK AND ALL EQUIPMENT, EXCEPT SPEAKERS, SHALL BE LOCATED AT THE PRESSBOX.

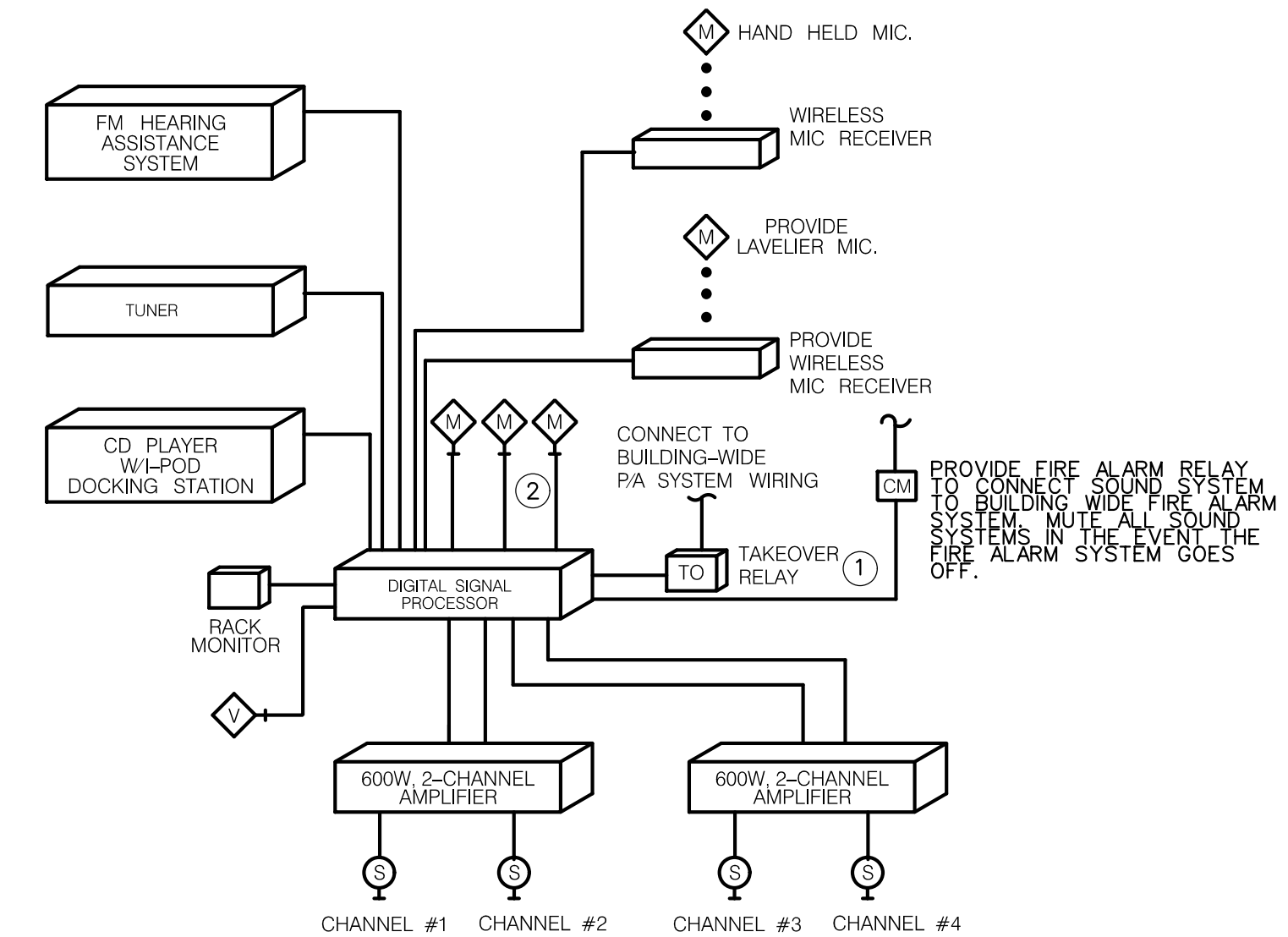
**PUBLIC ADDRESS SOUND SYSTEM RISER DIAGRAM FOR SPORTS FIELDS**  
NO SCALE



**DETAIL NOTES:**

- A. EXACT LAYOUT WILL VARY BASED UPON ROOM LOCATION.
- B. NETWORK EQUIPMENT IN EACH RACK IS BY TECHNOLOGY INTEGRATOR.
- C. PROVIDE TELCOM GROUNDING SYSTEM AT ALL TELECOM SYSTEMS RACKS PER 260526 SPECIFICATION.
- D. LOCATE DUPLEX RECEPTACLES AT 5'-0" AFF, UNLESS NOTED OTHERWISE.

1 PARTIAL SECOND FLOOR PLAN (DATA CLOSET 219A)  
SCALE: NONE



**NOTES:**

- 1 PROVIDE TAKEOVER RELAY FOR SOUND SYSTEM FOR PAGE OVERRIDE OF SIGNALS. PAGING SIGNALS OF P/A SYSTEM SHALL BE ROUTED TO THE SPEAKERS IN THE AREA INDEPENDANT OF THE LOCAL AMPLIFIER BEING ON OR OFF.
- 2 MICROPHONE JACKS ARE LOCATED ON PLANS, PROVIDE SURFACE RACEWAY AS REQUIRED.

**GENERAL NOTE:**

- A. RISER IS DIAGRAMATIC ONLY; WIRING, QUANTITIES, SIZES, TYPES SHALL BE AS CALLED FOR IN CONTRACT DOCUMENTS, MANUFACTURERS RECOMMENDATIONS AND APPLICABLE CODES.

**PUBLIC ADDRESS SOUND SYSTEM RISER FOR GYM**  
SCALE: NONE

**GENERAL NOTES:**

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL FIBER OPTIC CABLING SHALL BE INSTALLED IN 1.1/2" PLENUM INNERDUCT BY TECHNOLOGY INTEGRATOR. INNERDUCT SHALL BE LABELED ON 10' CENTERS. FIBER OPTIC CABLE BY TECHNOLOGY INTEGRATOR.
- C. SLEEVE ALL INNERDUCT PENETRATIONS THROUGH WALLS/FLOORS WITH 4" STEEL SLEEVES EXTENDING A MINIMUM OF 3' ON EITHER SIDE OF WALL/FLOOR. GROUT/CEMENT AROUND SLEEVE TO SECURE. ROUTE INNERDUCT THROUGH SLEEVES. FIRESTOP AROUND INNERDUCT. VEGRO INNERDUCT TIGHT TO CABLE TRAY AND J-HOOKS ON 5' CENTERS. J-HOOKS BY TECHNOLOGY INTEGRATOR. CABLE TRAY BY E.C.
- D. CONTRACTOR SHALL PROVIDE SIMILAR ENTRANCE INTO EXISTING WIRECLOSET FOR FIBER OPTIC CABLING AND INSTALLATION INTO DATA RACK.
- E. REFER TO TECHNOLOGY INTEGRATOR EQUIPMENT DRAWINGS AND SPECIFICATIONS FOR NETWORK EQUIPMENT AND UPS'S.
- F. TECHNOLOGY INTEGRATOR TO SECURE DATA CABLING ON DATA RACK RAILS WITH VERTICAL WIRE MANAGEMENT AND VEGRO STRAPS UP TO PATCH PANEL (AS REQUIRED).

**DRAWING NOTES:**

- 1 PROVIDE NEW FEEDER TO EXISTING PANELBOARD. REFER TO PARTIAL EMERGENCY ONE-LINE DIAGRAM AND EXISTING DRAWINGS FOR ADDITIONAL INFORMATION AND PANEL LOCATIONS RESPECTIVELY.



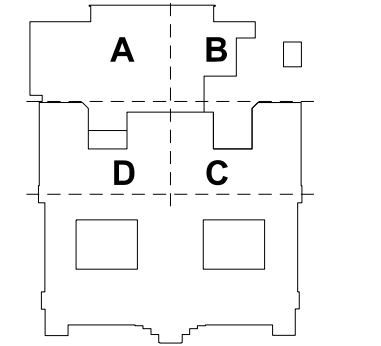
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DRAWING TITLE

**DETAILS AND RISER DIAGRAMS**

**E-700.4**

BID SET